

# NANTYGLO & BLAINA TOWN COUNCIL CYNGOR TREF NANT-Y-GLO A BLAENAU

Mrs T Hughes - Town Clerk/RFO

Council Offices, Blaina Institute, High Street, Blaina NP13 3BN  
Swyddfa'r Cyngor, Sefydliad Blaenau, Y Stryd Fawr, Blaenau NP13 3BN

Tel: 01495 292817 E-mail: [clerk@nantygloandblainatc.co.uk](mailto:clerk@nantygloandblainatc.co.uk)

Dear Member,

You are summoned to attend a hybrid meeting of the Highways and Planning Committee at Town Council Chamber, Blaina Institute, High Street, Blaina. to be held **on Tuesday 9<sup>th</sup> September 2025 at 6.00pm.**

If any Council Member or member of the public wishes to attend the meeting remotely, please contact the Town Clerk at the above e-mail or phone by 3pm on 9<sup>th</sup> September 2025 for details of how to access the meeting.

Yours sincerely



Town Clerk

## AGENDA

### Declaration of Interest

Members are invited to declare matters of interest either at the beginning or at any time during the proceedings. Members are reminded that all declarations of interest must be recorded in the book provided.

#### 1. Apologies for absence:

Members are invited to consider the apologies for absence and to formally resolve to accept.

#### 2. Questions from the public:

To receive any questions from the public regarding matters on the agenda. There is a 10-minute allocation time for any questions from the public.

#### 3. Correspondence:

Members are invited to consider the listed correspondence, plus with the Chair's permission, any urgent information that may well be received prior to the date of the meeting.

##### a) One Voice Wales / Welsh Government (for consideration – copy attached):

Consultation on Revisions to the Separate Collection of Waste Materials for Recycling: A Code of Practice for Wales.



#### 4. Decisions taken under delegated powers during August 2025:

Members are informed of the decisions taken under delegated powers during August 2025 in respect of the listed planning applications. Members are asked to consider supporting the delegated decisions.

a) Plan Application No. P/2025/0227 – The Red Lion Hotel, High Street, Blaina:

Change of use the ground floor public house to retail use, external alterations at ground floor, convert first floor existing residential into 2no. residential flats.

**Resolved** that no representation or objection be made.

b) Plan Application No. P/2025/0234 – Ty Cwtch, 8 Lakeside Close, Nantyglo:

Installation of additional CCTV camera on side elevation

**Resolved** that no representations or objections be made.

c) Plan Application No. P/2025/0238 – 9 Glen View, Waen Ebbw Road, Nantyglo:

Proposed demolition of garage, new single storey rear house extension, new detached outbuilding and widening of drive with extension to cross-over drop-kerb. Alteration to fenestration.

**Resolved** that no representations or objections be made.

#### 5. Planning Applications:

Members are invited to consider the applications listed below and, with the permission of the Chair, any further applications that may be received prior to the date of the meeting:

a) Plan Application No. P/2025/0225 – Development Site, Bourneville Road, Blaina:

Construction of 4no. detached dwellings with associated gardens and parking (*copy attached*).

b) Plan Application No. P/2025/0120 – 18 Limestone Road, Nantyglo, NP23 4ND:

Proposed single storey extension to south-west elevation of building (*copy attached*).

#### 6. Licence Applications:

Members are invited to note the application(s) **for information only**:

<u>Name &amp; Address Of Applicant(s):</u>	<u>Details of Application:</u>	<u>Premises Name &amp; Address:</u>
a) Stephen Smith 66 Lakeside Way Nantyglo	Application for a permanent street trading consent	Land near Howden's Waun y Pound Industrial Estate, Ebbw Vale



b) Carl George  
Springvale  
Brook Street,  
Brynmawr

Street Trading Consent-  
Renewal application for  
Mobile Catering Services

Carl's Catering Mobile  
Service, Blaina Road,  
Brynmawr



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**Welsh Government Consultation on Revisions to the Separate Collection of Waste Materials for Recycling: A Code of Practice for Wales**

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From Tracy Gilmartin <tgilmartin@onevoicewales.wales>

Date Wed 06-Aug-25 11:03 AM

To Tracy Gilmartin <tgilmartin@onevoicewales.wales>

**Welsh Government Consultation on Revisions to the Separate Collection of Waste Materials for Recycling: A Code of Practice for Wales**

Dear Chair and Clerk

The purpose of this consultation is to seek views on proposed revisions to the Separate Collection of Waste Materials for Recycling – A Code of Practice for Wales ("the code"). The revised code will be issued under section 45AB of the Environmental Protection Act 1990 ("EPA") in relation to the separate collection of waste under section 45AA of the EPA. These revisions are necessary in light of planned amendments to the Waste Separation Requirements (Wales) Regulations 2023.

Prior to issuing a revised code, the Welsh Ministers must consult such persons as they think appropriate, as per section 45AB(4) of the EPA 1990. This consultation is being carried out in compliance with that duty.

A link to the consultation can be found at:

[Consultation on the Separate Collection of Waste Materials for Recycling – A Code of Practice for Wales \(Revised\) \[HTML\] | GOV.WALES](#)

The responses to this consultation will inform the final drafting of revisions to the code and the planned amendments to the Waste Separation Requirements (Wales) Regulations 2023. The closing date for responses is 22 October 2025. One Voice Wales will be preparing a response to this consultation. In order to inform this response, I would appreciate your Coouncil's response or draft response by Wednesday 8 October. My email is [cjones@onevoicewales.wales](mailto:cjones@onevoicewales.wales).

Thanks very much – I look forward to hearing from you.

Yours sincerely

Catrin

Dr Catrin Jones  
Policy Officer / Swyddog Polisi  
One Voice Wales / Un Llais Cymru  
24c College Street / Stryd y Coleg  
Ammanford / Rhydaman  
SA18 3AF  
01269 595400







Llywodraeth Cymru  
Welsh Government

OPEN CONSULTATION, DOCUMENT

# Consultation on the Separate Collection of Waste Materials for Recycling – A Code of Practice for Wales (Revised)

Proposals for revisions to the ‘Separate Collection of Waste Materials for Recycling – A Code of Practice for Wales’ in light of planned amendments to the Waste Separation Requirements (Wales) Regulations 2023.

**First published:** 30 July 2025

**Last updated:** 30 July 2025

Download this page as a PDF 117 KB (<https://www.gov.wales/sites/default/files/pdf-versions/2025/7/3/1753884128/consultation-separate-collection-waste-materials-recycling-code-practice-wales-revised.pdf>)

This file may not be fully accessible.

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**Date of issue: 30 July 2025**

**Action required: Responses by 22 October 2025**

## **Overview**

The purpose of this Wales-only consultation is to seek your views on proposed revisions to the Separate Collection of Waste Materials for Recycling – A Code of Practice for Wales (“the code”).

The revised code will be issued under section 45AB of the Environmental Protection Act 1990 (“EPA”) in relation to the separate collection of waste under section 45AA of the EPA.



Prior to issuing a revised code, the Welsh Ministers must consult such persons as they think appropriate, as per section 45AB(4) of the EPA 1990. This consultation is being carried out in compliance with that duty.

The responses to this consultation will inform the final drafting of revisions to the code and the planned amendments to the Waste Separation Requirements (Wales) Regulations 2023.

## **How to respond**

Please complete the on-line questionnaire or the questionnaire at the end of the document. Responses can be submitted by email or post to the addresses below by 22 October 2025.

## **Further information and related documents**

Large print, Braille and alternative language versions of this document are available on request.

**Separate collection of waste materials for recycling: a code of practice for Wales** (/separate-collection-waste-materials-recycling-code-practice-wales)

**Increasing recycling by businesses** (/increasing-recycling-businesses)

## **Contact details**

Email:

**RecyclingReformsConsultations@gov.wales**

(mailto:RecyclingReformsConsultations@gov.wales), or

**YmgynghoriadauDiwygiadauAilgylchu@llyw.cymru**

(mailto:YmgynghoriadauDiwygiadauAilgylchu@llyw.cymru)

Post:



Resource Efficiency and Circular Economy Division  
Welsh Government  
Crown Buildings  
Cardiff  
CF10 3NQ

**Mae'r ddogfen yma hefyd ar gael yn Gymraeg / This document is also available in Welsh.** (<https://www.llyw.cymru/diwygiadau-i-casglu-deunyddiau-gwastraff-ar-wahan-ar-gyfer-ailgylchu-cod-ymarfer-cymru>)

## **UK General Data Protection Regulation (UK GDPR)**

### **UK General Data Protection Regulation (UK GDPR)**

The Welsh Government will be data controller for Welsh Government consultations and for any personal data you provide as part of your response to the consultation.

The Welsh Ministers have statutory powers they will rely on to process this personal data which will enable them to make informed decisions about how they exercise their public functions. The lawful basis for processing information in this data collection exercise is our public task; that is, exercising our official authority to undertake the core role and functions of the Welsh Government (Art 6(1)(e)).

Any response you send us will be seen in full by Welsh Government staff dealing with the issues which this consultation is about or planning future consultations. In the case of joint consultations this may also include other public authorities. Where the Welsh Government undertakes further analysis of consultation responses then this work may be commissioned to be carried out by an accredited third party (e.g. a research organisation or a consultancy company). Any such work will only be undertaken under contract. Welsh Government's standard terms and conditions for such contracts set out strict requirements for the processing and safekeeping of personal data.

In order to show that the consultation was carried out properly, the Welsh Government intends to publish a summary of the responses to this document. We may also publish responses in full. Normally, the name and address (or part of the address) of the person or organisation who sent the response are published with the response. If you do not want your name or address published, please tell us





this in writing when you send your response. We will then redact them before publishing.

You should also be aware of our responsibilities under Freedom of Information legislation and that the Welsh Government may be under a legal obligation to disclose some information.

If your details are published as part of the consultation response then these published reports will be retained indefinitely. Any of your data held otherwise by Welsh Government will be kept for no more than three years.

### Your rights

Under the data protection legislation, you have the right:

- to be informed of the personal data held about you and to access it
- to require us to rectify inaccuracies in that data
- to (in certain circumstances) object to or restrict processing
- for (in certain circumstances) your data to be 'erased'
- to (in certain circumstances) data portability
- to lodge a complaint with the Information Commissioner's Office (ICO) who is our independent regulator for data protection

For further details about the information the Welsh Government holds and its use, or if you want to exercise your rights under the UK GDPR, please see contact details below:

Data Protection Officer  
Welsh Government  
Cathays Park  
Cardiff  
CF10 3NQ

e-mail: [dataprotectionofficer@gov.wales](mailto:dataprotectionofficer@gov.wales) (mailto:dataprotectionofficer@gov.wales)

The contact details for the Information Commissioner's Office are:

Wycliffe House  
Water Lane



Wilmslow  
Cheshire SK9 5AF

Tel: 0303 123 1113

Website: <https://ico.org.uk/> (<https://ico.org.uk/>)

## **Purpose and scope of this consultation**

The purpose of this Wales-only consultation is to seek views on proposed revisions to the Separate Collection of Waste Materials for Recycling – A Code of Practice for Wales (“the code”). The proposed revisions to the code:

- reflect planned amendments to the Waste Separation Requirements (Wales) Regulations 2023 to implement the previously consulted upon commitment to bring in a requirement for non-domestic premises to present small waste electrical and electronic equipment (“sWEEE”) for separate collection by April 2026. Currently, only unsold sWEEE must be separated. As this policy has already been consulted upon and committed to, it is outside the scope of this consultation. Views are therefore only sought on the changes necessary to the code to reflect this new requirement. The revisions to the code have been made in anticipation of the proposed amending regulations being approved by the Senedd
- include minor updates within the original policy scope to improve clarity and consistency following feedback since implementation of the Workplace Recycling Regulations in April 2024

The responses to this consultation will inform the final drafting of revisions to the code and the planned amendments to the Waste Separation Requirements (Wales) Regulations 2023.

## **Background: the current workplace recycling regulations**

The “Workplace Recycling Regulations” is the collective name given to the three regulations that brought into effect a series of reforms to the separation, collection



and disposal of waste from non-domestic properties. The relevant regulations are listed below and came into force on 6 April 2024:

- **The Waste Separation Requirements (Wales) Regulations 2023**  
(<https://www.legislation.gov.uk/wsi/2023/1290/contents/made>)
- **The Prohibition on the Incineration, or the Deposit in Landfill, of Specified Waste (Wales) Regulations 2023**  
(<https://www.legislation.gov.uk/wsi/2023/1289/contents/made>)
- **The Prohibition on Disposal of Food Waste to Sewer (Civil Sanctions) (Wales) Order 2023** (<https://www.legislation.gov.uk/wsi/2023/1296/contents/made>)

A summary of the separation requirements under the Waste Separation Requirements (Wales) Regulations 2023 (the subject of the code) is provided below:

- occupiers of non-domestic premises (including businesses, charities and public sector bodies) must present specified recyclable materials for collection separately from each other and from residual waste
- those that collect the materials to collect them by means of separate collection and to keep them separate

Currently, the minimum specified recyclable materials for separate presentation are:

- glass
- plastics and metals, cartons and other fibre-plastic composite packaging of a similar composition
- paper and card
- food waste (for premises producing more than 5kg per week)
- unsold small waste electrical and electronic equipment, and
- unsold textiles

## **Background: planned amendments to the separation requirements**

The public consultation for the Workplace Recycling Regulations, held in 2019, originally proposed that non-domestic premises should be required to present small waste electrical and electronic equipment ("sWEEE") separately for collection



and onwards recycling. However, a follow up consultation held between November 2022 and February 2023 consulted on a revised proposal to phase in the separation and collection requirements for sWEEE up to two years after the original coming into force date (i.e. by April 2026). Following this consultation, the **Minister for Climate Change at the time confirmed in a Written Ministerial Statement** ([/written-statement-workplace-recycling-regulations-update](#)) that the Welsh Ministers would proceed with this proposal. Currently only unsold sWEEE must be separated.

Therefore, the Welsh Ministers intend to amend, through new regulations, the Waste Separation Requirements (Wales) Regulations 2023 to deliver this already consulted upon commitment.

Subject to the proposed amending regulations being approved by the Senedd, from 6 April 2026, the minimum specified recyclable materials for separate presentation will be:

- glass
- plastics and metals, cartons and other fibre-plastic composite packaging of a similar composition
- paper and card
- food waste (for premises producing more than 5kg per week)
- small waste electrical and electronic equipment, and
- unsold textiles

The previous consultations referred to are provided below for reference:

- **Separate collection of waste materials for recycling: a code of practice for Wales** ([/separate-collection-waste-materials-recycling-code-practice-wales](#))
- **Increasing recycling by businesses** ([/increasing-recycling-businesses](#))

## **Proposed amendments to the code for consultation**

A draft revised code accompanies this consultation document.

## **Planned change to the code to capture sWEEE**





The code has been updated throughout to reflect planned amendments to the Waste Separation Requirements (Wales) Regulations 2023 so that from 6 April 2026 non-domestic premises will be required to present sWEEE separately for collection and onwards recycling. Currently only unsold sWEEE must be separated.

The proposed revised description of this waste stream within the Waste Separation Requirements (Wales) Regulations 2023 and the code is:

- small waste electrical and electronic equipment

Accordingly, references in the code to 'unsold' sWEEE have been removed. This description will encompass unsold sWEEE.

## **Proposed amendments to the annexes of the code**

Annexes 1 to 6 of the code provide lists of the sub-fractions that should and should not be placed within the six specified recyclable waste streams; paper and card; cartons, metal, and plastic; glass; food; sWEEE and unsold textiles.

The sub-fractions listed in these annexes are expected to evolve and change over time based on expert stakeholder feedback, the introduction of new packaging materials, improvements to recycling technologies and to accommodate interoperability with other legislative mechanisms.

Within the cartons, metals and plastics recyclable waste stream, feedback from stakeholders has identified that expanded polypropylene is not currently easily or routinely separated from other sub-fractions within this waste stream and therefore this material is not currently commonly recycled or recycled at scale.

We are therefore proposing an amendment to Annex 2 of the code to remove expanded polypropylene as a material that should be placed in the cartons, metal and plastic recyclable waste stream. Removing expanded polypropylene from Annex 2 would also require an amendment to the Waste Separation Requirements (Wales) Regulations 2023.

In addition, stakeholders have sought clarity on whether or not blister packaging commonly used for pharmaceuticals and other tablets should be placed in the



cartons, metal and plastic recyclable waste stream. As blister packaging is not commonly recycled, and instead requires specialist re-processing, we are proposing to add 'blister packaging commonly used for pharmaceuticals and other tablets consisting of pre-formed plastic cavities or pockets usually sealed with a lid seal made of aluminium foil or plastic film' as a sub-fraction that should not be placed in the cartons, metal and plastic recyclable waste stream.

Planned updates to the code to provide additional clarity regarding recyclable waste items that may be considered as hazardous waste under the Hazardous Waste Regulations (Wales) 2005

Waste categorised as hazardous under regulation 6 of the Hazardous Waste (Wales) Regulations 2005 or containing residues of, or contaminated by, waste or substances categorised as hazardous under regulation 6 of those regulations should not be presented for collection in any of the recyclable waste streams and should instead be handled in accordance with the Hazardous Waste (Wales) Regulations 2005. This is made clear in paragraphs 4.18 and 6.8 in the current version of the code.

We have updated these sections of the code to highlight that Natural Resources Wales is the regulator of the hazardous waste regime in Wales, as well as including a link to separate guidance which may help readers of the code to identify whether their waste is, or contains, hazardous waste and what to do if they have assessed their waste and are unsure if it is classified as hazardous waste.

## **Examples of mixed-use workplaces**

In section 5, the code provides guidance on the considerations that a workplace can explore to identify whether they are obligated to comply with the separation requirements. It is made clear that examples of non-domestic properties are for illustrative purposes only.

Following stakeholder feedback, we have proposed removing the two examples of potential mixed-use premises at paragraph 5.5 as these were not considered necessary nor the best examples in this context. Given the wider list of ways to help someone determine if they are obligated to follow the separation requirements, we do not consider any examples are required.



## **Hospitals are no longer exempt from the separation requirements**

Hospitals were given a two-year exemption to the separation requirements in the Waste Separation Requirements (Wales) Regulations 2023, which will automatically expire at the end of 5 April 2026. Therefore, from 6 April 2026, hospitals will have to comply with the separation requirements. The code has been updated to reflect this.

This exemption for hospitals is not a new policy and is outside the scope of this consultation. The consultation only seeks views on whether the code makes it clear that this exemption will no longer apply from 6 April 2026.

## **Consultation questions**

### **These questions should be read in conjunction with the “Proposed amendments to the code for consultation” section above**

Question 1: Please specify which sector you are representing:

- i) A business
- ii) A third sector organisation
- iii) A public sector organisation
- iv) Local Authority waste collection service
- v) A waste management company (e.g., private waste collector, waste handler, or re-processor, operators of incineration and co-incineration facilities, operator of landfill facilities)
- vi) None of the above (please specify)

### **Small waste electrical and electronic equipment (sWEEE)**

The code has been updated to reflect the planned amendment to the Waste Separation Requirements (Wales) Regulations 2023 to capture sWEEE from 6 April 2026.



The proposed description of this waste stream within the Waste Separation Requirements (Wales) 2023 and the code is:

- small waste electrical and electronic equipment

Accordingly, references in the code to 'unsold' sWEEE have been removed.

Question 2: Are you satisfied that it is sufficiently clear within the code that sWEEE from non-domestic premises is now subject to the separation requirements?

- i) Very satisfied
- ii) Somewhat satisfied
- iii) Neither satisfied nor dissatisfied
- iv) Not satisfied

### **Recyclable waste items that may be considered hazardous under the Hazardous Waste Regulations (Wales) 2005**

We have updated sections 4.18 and 6.8 of the code to highlight that Natural Resources Wales is the regulator of the hazardous waste regime in Wales, as well as including a link to separate guidance which may help readers of the code to identify whether their waste is, or contains, hazardous waste and what to do if they have assessed their waste and are unsure if it is classified as hazardous waste.

Question 3. Are you satisfied that the updates made to paragraphs 4.18 and 6.8 of the code are sufficiently clear?

- i) Very satisfied
- ii) Somewhat satisfied
- iii) Neither satisfied nor dissatisfied
- iv) Not satisfied

### **Examples of mixed-use workplaces**

Following stakeholder feedback, we have proposed removing the two examples of potential mixed-use properties at paragraph 5.5 as these were not considered necessary nor the best examples in this context. Given the wider list of ways to





help someone determine if they are obligated to follow the separation requirements, we do not consider any examples are required.

Question 4. Do you agree with the proposal to remove the two specific examples of mixed-use workplaces at paragraph 5.5?

1. Yes
2. No
3. No opinion

### **Hospitals are no longer exempt from the separation requirements**

Hospitals were given a two-year exemption to the separation requirements in the Waste Separation Requirements (Wales) Regulations 2023, which will automatically expire at the end of 5 April 2026. Therefore, from 6 April 2026, hospitals will have to comply with the separation requirements. The code has been updated to reflect this.

Question 5. Are you satisfied that the expiration of the exemption for hospitals is clearly explained within the code?

- i) Very satisfied
- ii) Somewhat satisfied
- iii) Neither satisfied nor dissatisfied
- iv) Not satisfied

### **Amendments to the list of waste sub-fractions**

Question 6: Do you agree with the addition of blister packaging (as described above) to the list of sub-fractions that should not be placed in the cartons, metal and plastic recyclable waste stream found at Annex 2?

- i) Yes
- ii) No
- iii) No opinion

Question 7: Are you satisfied that the description of “blister packaging used within



the code of packaging items commonly used for pharmaceuticals and other tablets consisting of pre-formed plastic cavities or pockets usually sealed with a lid seal made of aluminium foil or plastic film" is sufficiently clear?

- i) Very satisfied
- ii) Somewhat satisfied
- iii) Neither satisfied nor dissatisfied
- iv) Not satisfied

Question 8: Do you agree with the removal of expanded polypropylene from the list of sub-fractions that should be placed in the cartons, metal and plastic recyclable waste stream found at Annex 2?

- i) Yes
- ii) No
- iii) No opinion

Question 9: What, in your opinion, would be the likely effects of the proposed updates to the code on the Welsh language? We are particularly interested in any likely effects on opportunities to use the Welsh language and on not treating the Welsh language less favourably than English.

Do you think that there are opportunities to promote any positive effects?

Do you think that there are opportunities to mitigate any adverse effects?

Question 10: In your opinion, could the proposed updates to the code be formulated or changed so as to:

- have positive effects or more positive effects on using the Welsh language and on not treating the Welsh language less favourably than English; or
- mitigate any negative effects on using the Welsh language and on not treating the Welsh language less favourably than English?

Question 11: We have asked a number of specific questions. If you have any related issues which we have not specifically addressed, please use this space to report them.

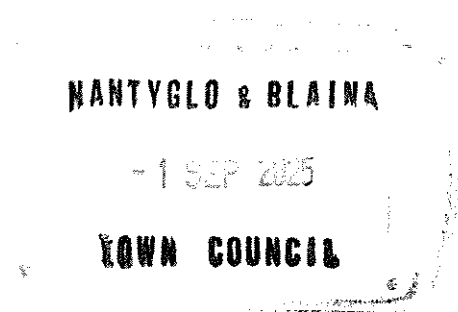
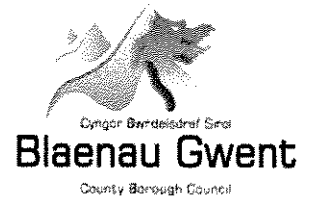
## **Next steps**



The responses to this consultation will inform the final drafting of revisions to the code and the planned amendments to the Waste Separation Requirements (Wales) Regulations 2023. A summary of responses will be published on our website.



item no 5a



**Please quote : P/2025/0225**

Direct line : 01495369667

01 September 2025

Dear Sir/Madam

**TOWN AND COUNTRY PLANNING ACT 1990**

**APPLICATION FOR PLANNING PERMISSION**

**I write to advise that an application for planning permission has been submitted**

The construction of 4 no. detached dwellings with associated gardens and parking  
Development Site Bourneville Road, Blaina, Blaenau Gwent,  
Grid Reference: 320383.9 206260.55

Please use the following link <https://developmentsservices.blaenau-gwent.gov.uk/planning/index.html?fa=getApplication&id=125489> to view the application documents. Please return any comments with 21 days of the date of this letter.

Yours sincerely

Sophie Godfrey  
Planning Officer  
Email: [planning.bgcbbc@blaenau-gwent.gov.uk](mailto:planning.bgcbbc@blaenau-gwent.gov.uk)





**Blaenau Gwent CBC Planning Control / Rhoeli Cynllunio CBS Blaenau Gwent****General Offices**

Steelworks Road

Tylwyn, Ebbw Vale, NP23 6AA.

Tel: 01495 355555 Fax: 01495 355598

Email: [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)**Swyddfeydd Cyffredinol**

Heol Gwaith Dur

Tŷ Llwyn, Glyn Ebwy, NP23 6AA.

Ffon: 01495 355555 Ffacs: 01495 355598

E-bost: [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)[www.blaenau-gwent.gov.uk](http://www.blaenau-gwent.gov.uk)**Application for Planning Permission****Town and Country Planning Act 1990****Publication of applications on planning authority websites**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**Site Details**

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number  Suffix

Property Name

Address Line 1

Address Line 2

Town/city

Postcode

**Description of site location (must be completed if postcode is not known)**

Easting (x)

Northing (y)

Description

**Applicant Details**

Name/Company



Title

Mr

First name

Surname

Haven

Company Name

## Address

Address line 1

Development Site Bourneville Road

Address line 2

Address line 3

Blaenau Gwent

Town/City

Blaina

Country

Postcode

NP13 3EN

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

## Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

## Agent Details

Name/Company



Title

Mr

First name

Aneurin

Surname

James

Company Name

George and Co

## Address

Address line 1

Studio 01

Address line 2

Crownford House

Address line 3

Swan Street

Town/City

Merthyr Tydfil

Country

Postcode

CF47 8EU

## Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

## Site Area

What is the site area?

1143.00



Scale

Sq. metres

Does your proposal involve the construction of a new building which would result in the loss or gain of public open space?

- ☐ Yes  
☒ No

## Description of the Proposal

### Description

Please describe the proposed development including any change of use

The construction of 4 no. detached dwellings with associated gardens and parking

Has the work or change of use already started?

- ☐ Yes  
☒ No

## Existing Use

Please describe the current use of the site

Vacant

Is the site currently vacant?

- ☒ Yes  
☐ No

If Yes, please describe the last use of the site

Petrol station

When did this use end (if known)?

dd/mm/yyyy

Does the proposal involve any of the following?

Land which is known or suspected to be contaminated for all or part of the site

- ☒ Yes  
☐ No

A proposed use that would be particularly vulnerable to the presence of contamination

- ☐ Yes  
☒ No

### Application advice

If you have said Yes to any of the above, you will need to submit an appropriate contamination assessment.

Does your proposal involve the construction of a new building?

- ☒ Yes  
☐ No





If Yes, please complete the following information regarding the element of the site area which is in previously developed land or greenfield land

Area of previously developed land proposed for new development

0.11

hectares

Area of greenfield land proposed for new development

0.00

hectares

## Materials

Does the proposed development require any materials to be used in the build?

☒ Yes

☐ No

Please provide a description of existing and proposed materials and finishes to be used in the build (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

**Proposed materials and finishes:**

Render

**Type:**

Roof

**Existing materials and finishes:**

**Proposed materials and finishes:**

Artificial slate

**Type:**

Windows

**Existing materials and finishes:**

**Proposed materials and finishes:**

uPVC

**Type:**

Doors

**Existing materials and finishes:**

**Proposed materials and finishes:**

uPVC

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes

☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

See associated plans



## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle or pedestrian access proposed to or from the public highway?

- ☒ Yes  
☐ No

Are there any new public roads to be provided within the site?

- ☐ Yes  
☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

- ☐ Yes  
☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- ☐ Yes  
☒ No

Please show details of any existing or proposed rights of way on or adjacent to the site, as well as any alterations to pedestrian and vehicle access, on your plans or drawings.

## Vehicle Parking

Is vehicle parking relevant to this proposal?

- ☒ Yes  
☐ No

Please provide information on the existing and proposed number of on-site parking and cycling spaces on your plans.

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- ☐ Yes  
☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- ☐ Yes  
☒ No

If Yes to either or both of the above, you will need to provide a full tree survey with accompanying plan before your application can be determined. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'

## Assessment of Flood Risk

Is the site within an area at risk of flooding?

- ☐ Yes  
☒ No

[Refer to the Welsh Government's Development Advice Maps website.](#)



Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- ☐ Yes  
☒ No

Will the proposal increase the flood risk elsewhere?

- ☐ Yes  
☒ No

From 7 January 2019, all new developments of more than 1 dwelling house or where the construction area is 100 square metres or more, require Sustainable Drainage Systems (SuDS) for surface water designed and built in accordance with the Welsh Ministers' [Statutory SuDS Standards](#). SuDS Schemes must be approved by your local authority acting in its SuDS Approving Body (SAB) role. Please contact your local authority for details of how to apply.

How will surface water be disposed of?

- ☒ Sustainable drainage system  
☐ Existing water course  
☐ Soakaway  
☐ Main sewer  
☐ Pond/lake

## Biodiversity and Geological Conservation

To assist in answering the following questions refer to the help text. The help text provides further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the help text, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

b) Designated sites, important habitats or other biodiversity features

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

c) Features of geological conservation importance

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.



## Foul Sewage

Please state how foul sewage is to be disposed of:

- ☒ Mains sewer
- ☐ Septic tank
- ☐ Package treatment plant
- ☐ Cess pit
- ☐ Other
- ☐ Unknown

Are you proposing to connect to the existing drainage system?

- ☒ Yes
- ☐ No
- ☐ Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Mains sewer. Connection at edge of site

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste and have arrangements been made for the separate storage and collection of recyclable waste?

- ☒ Yes
- ☐ No

If Yes, please provide details:

Bin store to rear gardens

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- ☐ Yes
- ☒ No

## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- ☒ Yes
- ☐ No

If you answered "yes" to the question above, please specify the existing and proposed number of market and affordable dwellings on the attached plans.





## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

- ☐ Yes  
☒ No

## Employment

Will the proposed development require the employment of any staff?

- ☐ Yes  
☒ No

## Hours of Opening

Are Hours of Opening relevant to this proposal?

- ☐ Yes  
☒ No

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- ☐ Yes  
☒ No

Is the proposal for a waste management development?

- ☐ Yes  
☒ No

## Renewable and Low Carbon Energy

Does your proposal involve the installation of a standalone renewable or low-carbon energy development?

- ☐ Yes  
☒ No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- ☐ Yes  
☒ No

## Neighbour and Community Consultation



Have you consulted your neighbours or the local community about the proposal?

- ☐ Yes  
☒ No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- ☒ Yes  
☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- ☒ The agent  
☐ The applicant  
☐ Other person

## Pre-application Advice

Has pre-application advice been sought from the local planning authority about this application?

- ☐ Yes  
☒ No

## Authority Employee/Member

With respect to the Authority, is the applicant or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

Do any of these statements apply to you?

- ☐ Yes  
☒ No

## Ownership Certificates

Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Please answer the following questions to determine which Certificate of Ownership you need to complete: A,B,C or D.

Are you the sole owner of ALL the land?

- ☒ Yes  
☐ No

### Certificate of Ownership - Certificate A

I certify/the applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least seven years left to run) of any part of the land or building to which the application relates.

Person Role

- ☐ The Applicant  
☒ The Agent



Title

Mr

First Name

Aneurin

Surname

James

Declaration Date

22/07/2025

☒ Declaration made

## Agricultural Holding Certificate

### Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Agricultural land declaration - you must select either A or B

- ☒ (A) None of the land to which the application relates is, or is part of an agricultural holding
- ☐ (B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below

Person Role

- ☐ The Applicant
- ☒ The Agent

Title

Mr

First Name

Aneurin

Surname

James

Declaration Date

22/07/2025

☒ Declaration made

## Declaration

I/We hereby apply for Full planning permission as described in the questions answered, details provided, and the accompanying plans/drawings and additional information.

I/We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

I/We also accept that:

- Once submitted, this information will be made available to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website;
- Our system will automatically generate and send you emails in regard to the submission of this application.



☒ I / We agree to the outlined declaration

Signed

Steven George

Date

22/07/2025







# George and Co.

Crownford House,  
Swan Street,  
Merthyr Tydfil,  
CF47 8DE  
T 01685 387952  
[www.georgeandco.studio](http://www.georgeandco.studio)

22<sup>nd</sup> July 2025

Project Title     Blaina Petrol Station Land.  
Job no.            1113  
Client              Mr Martin Haven  
Address            Land formerly Hospital Petrol Station, Bournville Road, Balina. NP13 3EN

## Green Infrastructure Statement

**Site Address:** Land formerly Hospital Petrol Station, Bournville Road, Balina. NP13 3EN





**Proposed Development:** Development of 4 new detached residential dwellings.

**Site description:** The site is a former petrol station on a residential street. The petrol station formed part of a wide vehicle garage development all owed by the same family.

The site is relatively flat with a rise in levels to the rear.

The site enjoys access directly off the main road.

The site is flanked by residential dwellings and the site is also within residential boundaries of the local LDP.



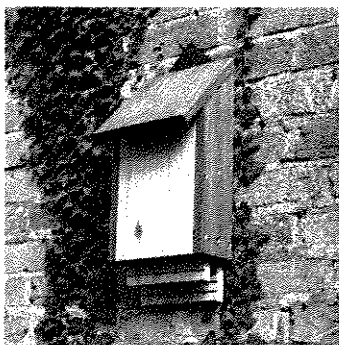
**Surrounding area description:** The property is situated on a main road with a rural setting to the rear.

**Development Impacts:** None. Even though the petrol station has been removed from the site, the ground is still entirely concrete and hard surfaces. Any proposal for development will be subject to cleaning up any site contamination and restoring some of the surfaces to permeable paving, grassed lawns and planting areas as suggested on the site plan.

**Noting that:** There is no planting to be lost by the development and subsequently, we propose new planting areas to break up the car parking area to the rear. See site plan.



**Proposed Biodiversity Enhancements:** Bird & bat box provision on eaves of existing dwelling to be installed.



RSPB Burford Bat Box or similar



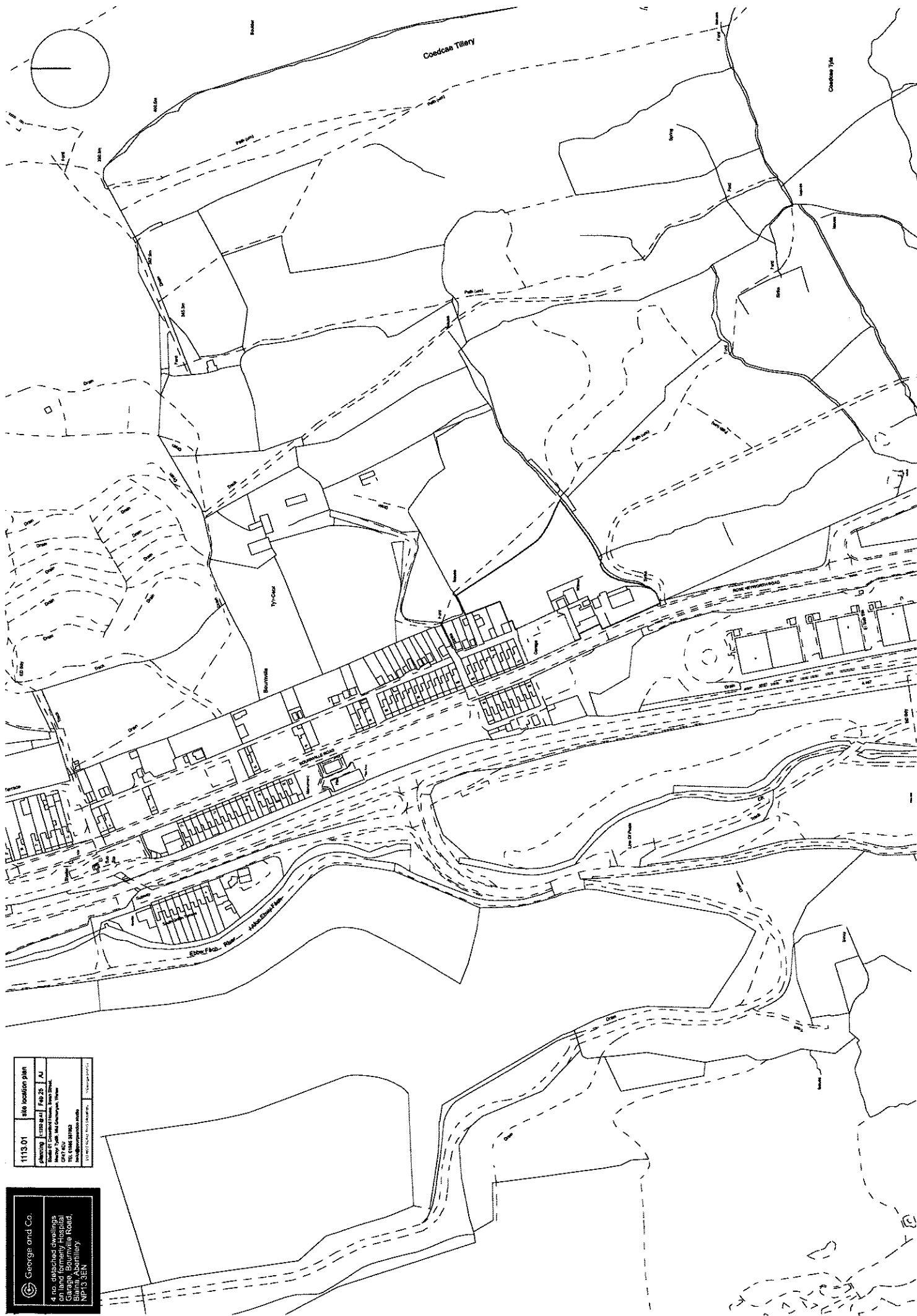
RSPB Apex Classic Nest Box or similar

### **Conclusion**

The project is for 4 new dwellings that will enhance the area and replace a problematic use classification in an area that is classed as semi-rural.

**Date: 02/09/2025**





1113 01	site location plan
Planning	1113 01
Drawn	1113 01
Scale	1:1000
Author	1113 01
Client	1113 01
Project	1113 01
Location	1113 01
Notes	1113 01


**George and Co.**  
 4 no. detached dwellings  
 on land formerly known as  
 Blaine, Abertillery  
 NP13 3EN











George and Co.

4 no. detached dwellings  
 with associated parking  
 on the site of the former  
 Garage, Bourne Road,  
 Blaine, Abertillery  
 NP13 3EN

1113.03

Proposed block plan

20/09/2017 12:00:00 10/05/2017 14/05/2017

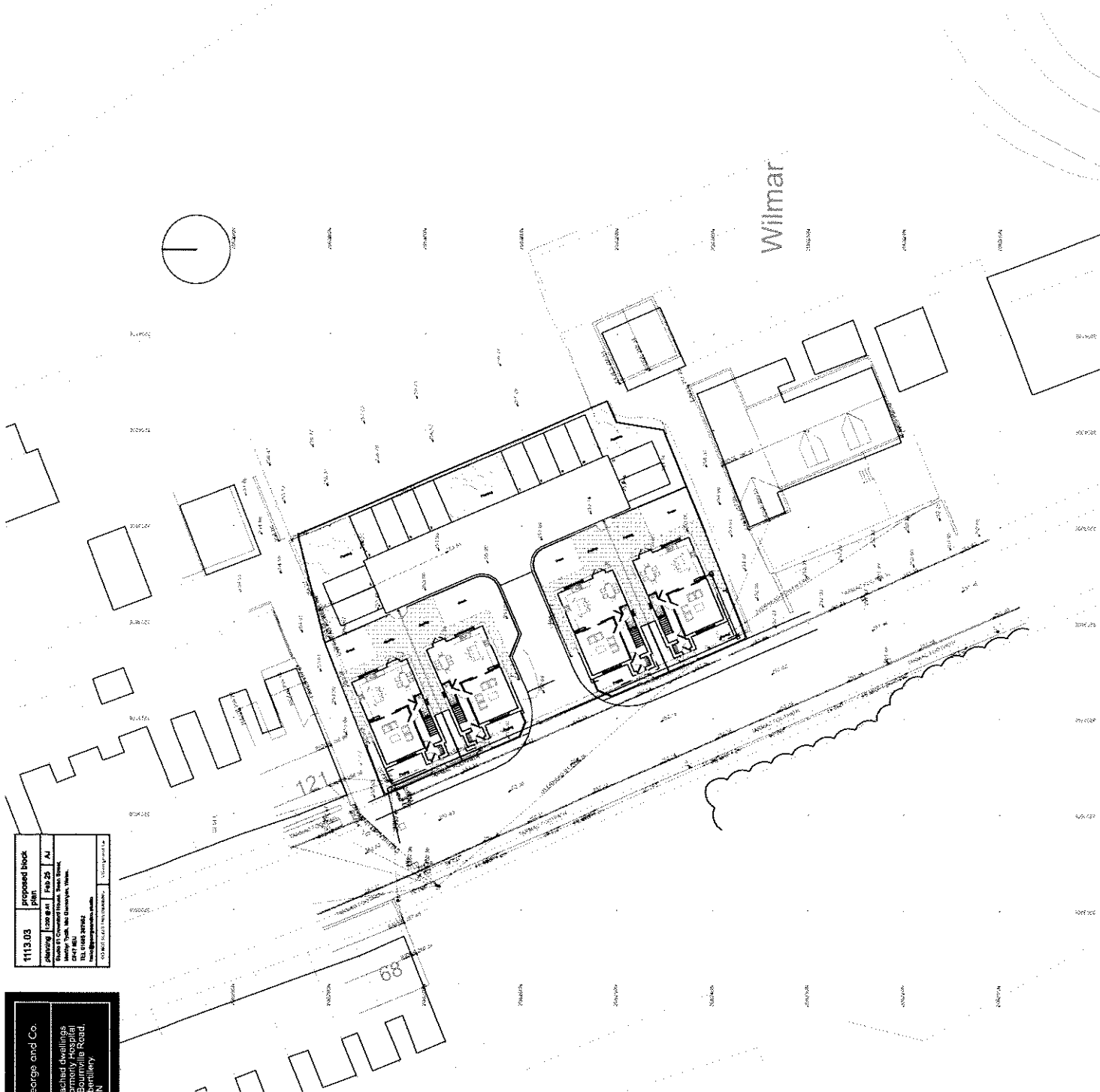
Blaine Garage, Bourne Road, Blaine, Abertillery, Wales

20/09/2017 12:00:00 10/05/2017 14/05/2017

Blaine Garage, Bourne Road, Blaine, Abertillery, Wales

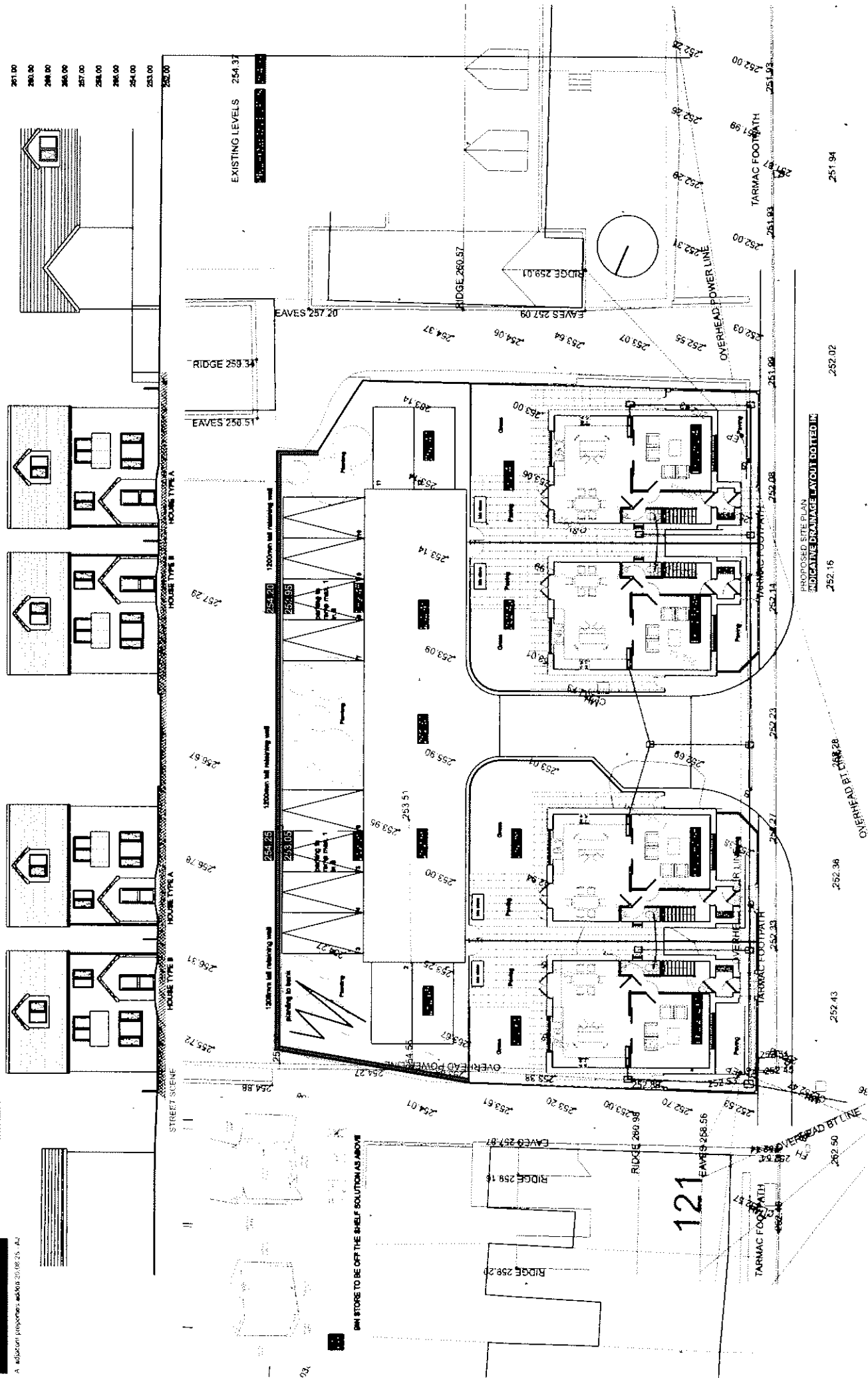
20/09/2017 12:00:00 10/05/2017 14/05/2017

Blaine Garage, Bourne Road, Blaine, Abertillery, Wales

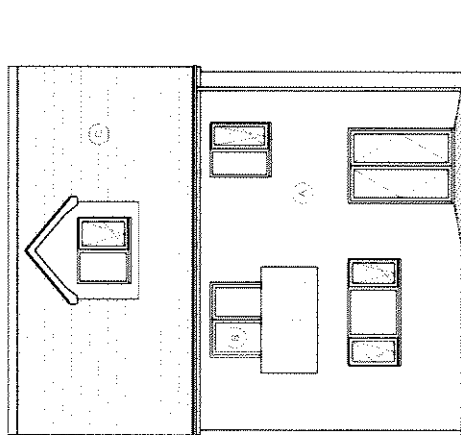




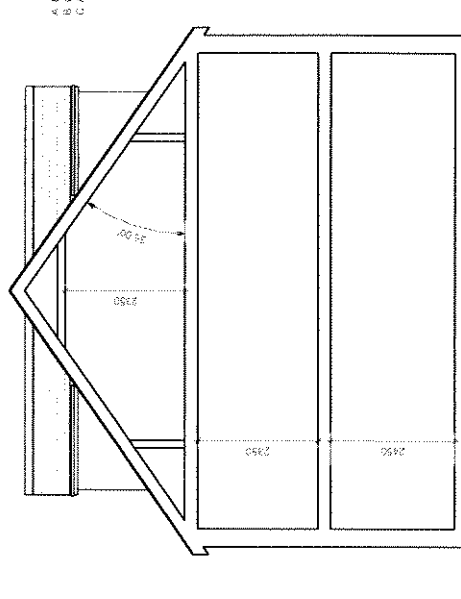
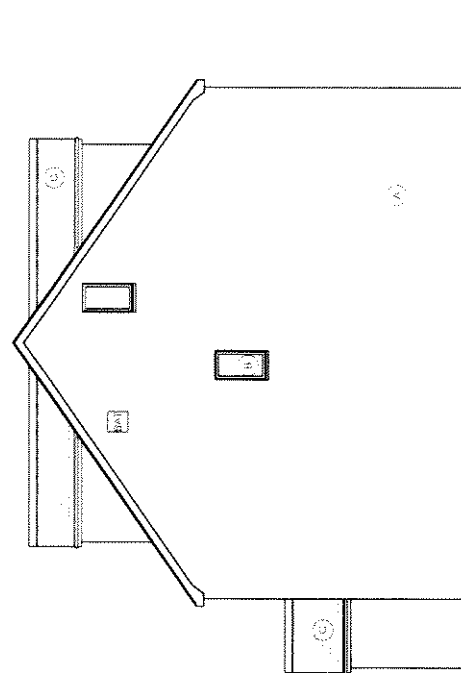
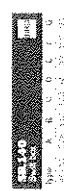
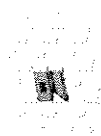
252.00  
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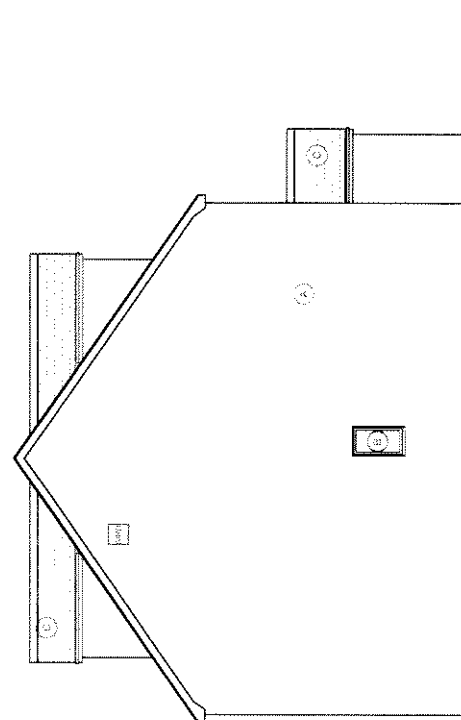




REAR ELEVATION  
HOUSE TYPE A

SECTION  
HOUSE TYPE A

**SIDE ELEVATION  
HOUSE TYPE A**



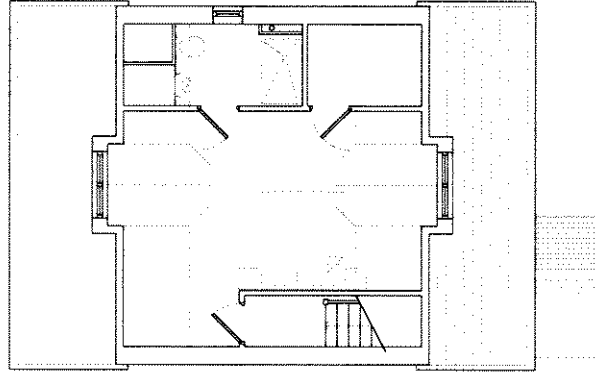
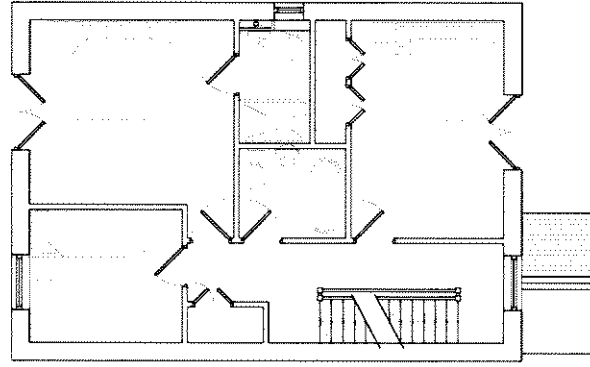
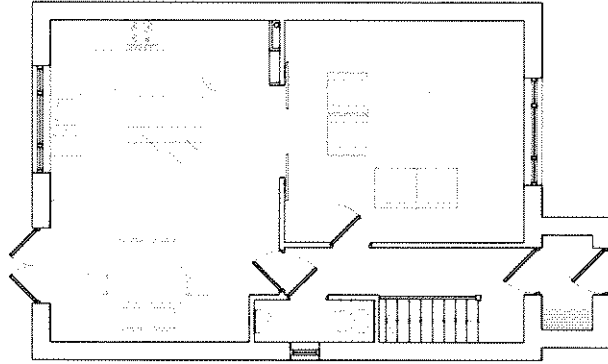
**SIDE ELEVATION  
HOUSE TYPE A**

CRADLEY SWIFT AND BAT BOXES  
OR SIMILAR APPROVED

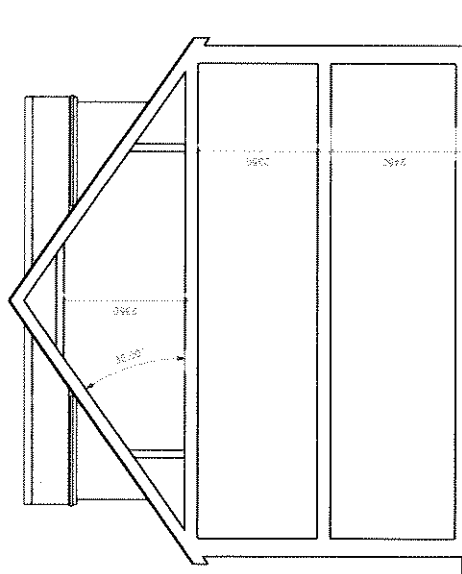
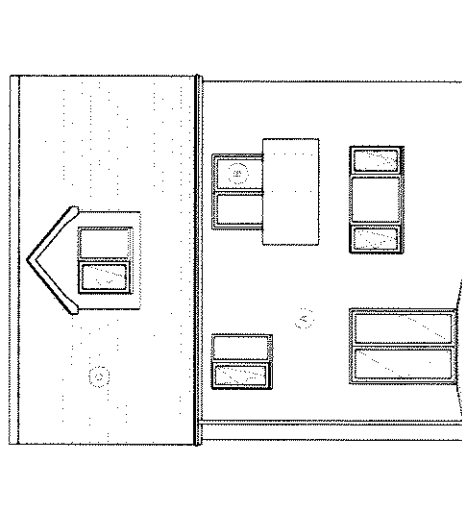
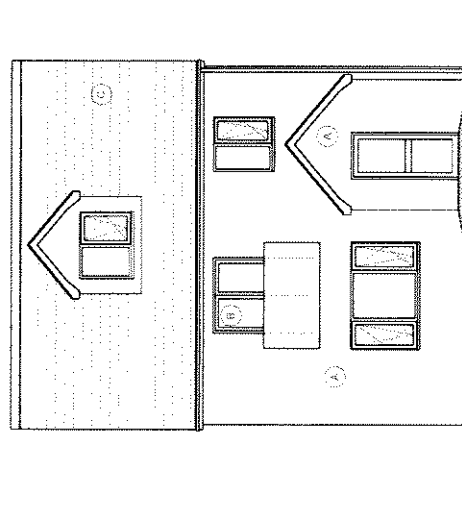




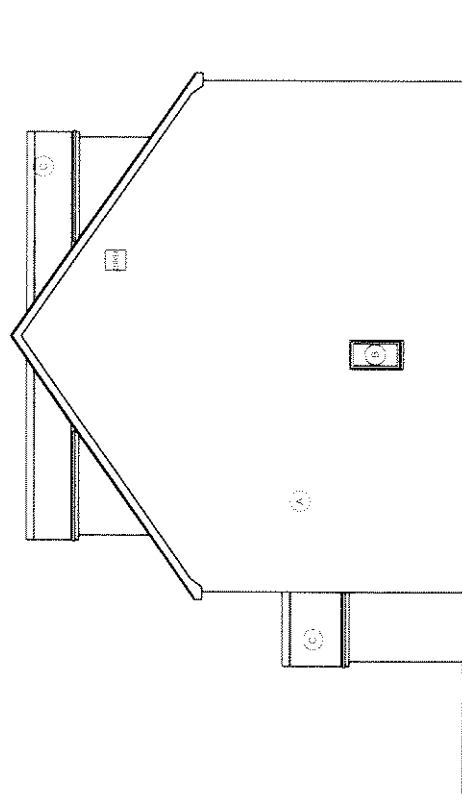
**George and Co.**  
4 no detached dwellings  
on land formerly Hospital  
Garage, Bournville Road,  
Blairstown, Abertillery  
NP13 3EN



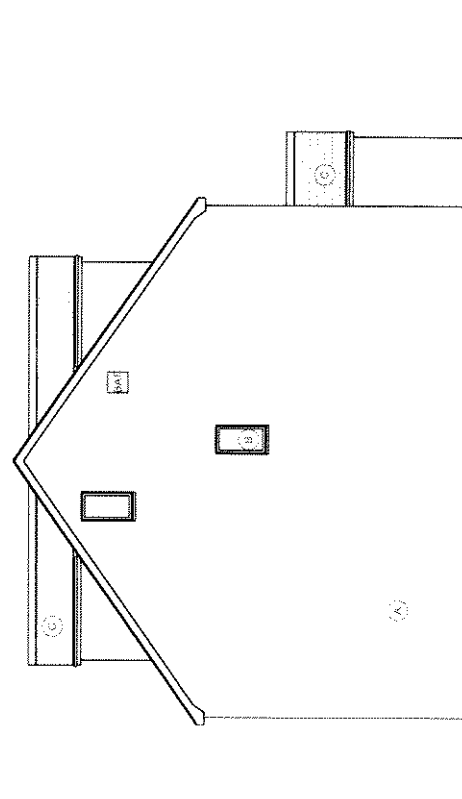


SECTION  
HOUSE TYPE BREAR ELEVATION  
HOUSE TYPE B

FRONT ELEVATION  
HOUSE TYPE B



SIDE ELEVATION  
HOUSE TYPE B

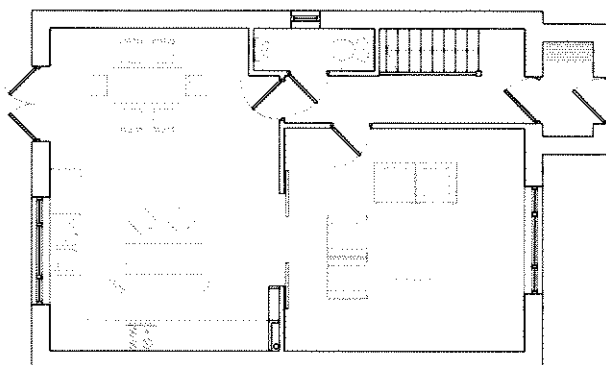


**SIDE ELEVATION  
HOUSE TYPE B**

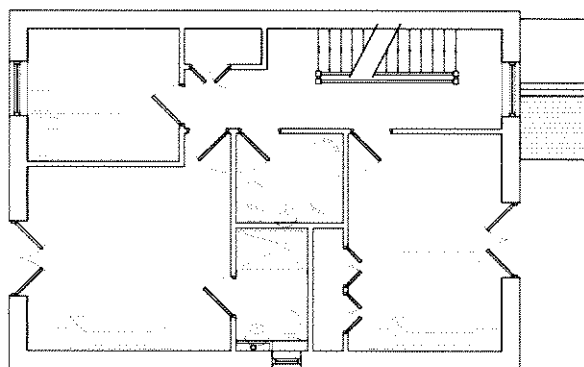
A REVIEW  
OF OPEN WINDOWS AND DOORS  
IN AIR-CONDITIONED  
BUILDINGS

GRADLEY SWIFT AND BAT BOXES  
OR SIMILAR APPROVED

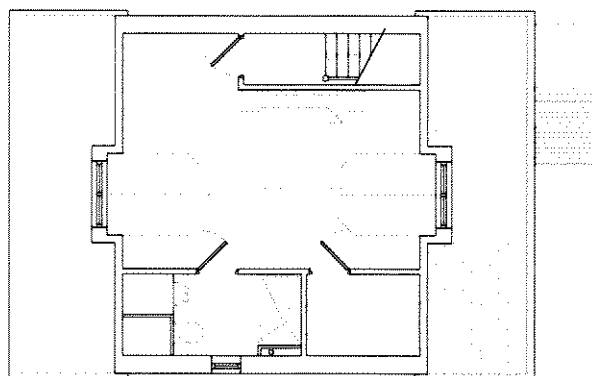




GROUND FLOOR PLAN  
HOUSE TYPE B



**FIRST FLOOR PLAN**  
**HOUSE TYPE B**



SECOND FLOOR PLAN  
HOUSE TYPE B



1:50  
REPLACE ANY SOFT SPOTS ON SITE WITH WELL-COMPACTED  
TYPE 1 HARCOCORE IN 150mm LAYERS TO FINISHED LEVEL.



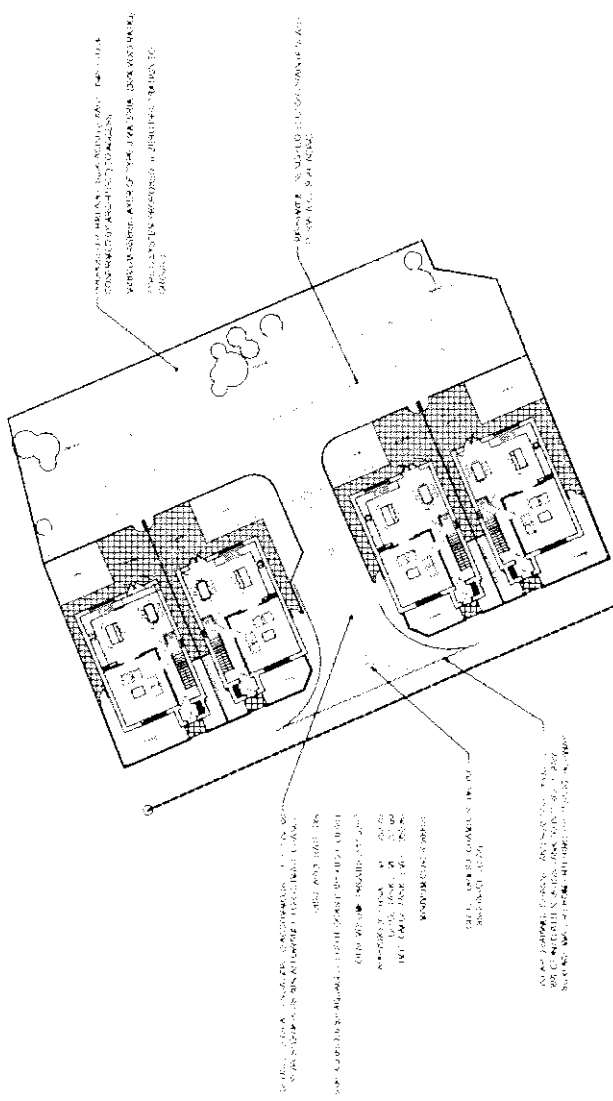
IN EACH ONE PLAT REFINING WAS  
WITH ANE MORE PL. STEPPING AS  
DENSEST. WALL ON 35mm 100  
25x30 STRIP WITH 2 LAYERS. A03  
MESH IN 10P AND 0.1M WITH 40mm  
COVER EACH 100MM IN EACH  
SIDE TO THE MESH TONGUE THERE IS  
20mm C.T.M.S.

F<sup>th</sup> Foundation GA

1946 **AKG 75** **NEW YORK AT 11:00** **FRANCIS AND J. L. BIRD**







ROOF AREA  
CONCRETE ROOF WITH 100MM POLYSTYRENE INSULATION  
AND 150MM CONCRETE SLAB  
ROOF DRAINAGE TO GUTTER AND DOWNPIPE

ROOF AREA  
CONCRETE ROOF WITH 100MM POLYSTYRENE INSULATION  
AND 150MM CONCRETE SLAB  
ROOF DRAINAGE TO GUTTER AND DOWNPIPE

ROOF AREA  
CONCRETE ROOF WITH 100MM POLYSTYRENE INSULATION  
AND 150MM CONCRETE SLAB  
ROOF DRAINAGE TO GUTTER AND DOWNPIPE

ROOF AREA  
CONCRETE ROOF WITH 100MM POLYSTYRENE INSULATION  
AND 150MM CONCRETE SLAB  
ROOF DRAINAGE TO GUTTER AND DOWNPIPE

ROOF AREA  
CONCRETE ROOF WITH 100MM POLYSTYRENE INSULATION  
AND 150MM CONCRETE SLAB  
ROOF DRAINAGE TO GUTTER AND DOWNPIPE

Notes:  
1. All dimensions are in millimeters unless otherwise stated.  
2. All dimensions are to the centerline of the structure unless otherwise stated.  
3. All dimensions are to the finished surface unless otherwise stated.  
4. All dimensions are to the centerline of the structure unless otherwise stated.  
5. All dimensions are to the finished surface unless otherwise stated.

MARTIN HAVEN

BOURNEVILLE ROAD BLAINA

PROPOSED DRAINAGE STRATEGY

FOR INFORMATION

Item	Quantity	Unit	Value
1. 100mm Polystyrene Insulation	100	m <sup>2</sup>	100
2. 150mm Concrete Slab	100	m <sup>2</sup>	100
3. 100mm Polystyrene Insulation	100	m <sup>2</sup>	100
4. 150mm Concrete Slab	100	m <sup>2</sup>	100

25001-GWC-XX-XX-01-000 A01







Geotechnical & Geoenvironmental Specialists

## Large-Scale National Grid Data Published 1993

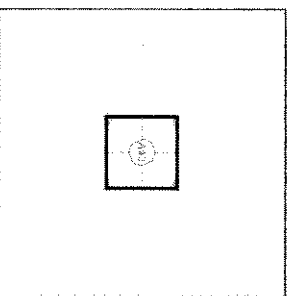
### Source map scale - 1:2,500

Large Scale National Grid Data superseded SMI cards (Ordnance Survey's Survey of Information on Microfilm) in 1992, and continued to be produced until 1999. These maps were the forerunners of digital mapping and so provide detailed information on houses and roads, but tend to show less topographic features such as vegetation. These maps were produced at both 1:2,500 and 1:250 scales.

### Map Name(s) and Date(s)

502006  
1998  
1:2,500

### Historical Map - Segment A13



### Order Details

Order Number 309495805\_1\_1  
Customer Ref: 17764 Bourville  
National Grid Reference 320380, 206260  
Slice: A  
Site Area (Ha): 0.12  
Search Buffer (m): 100

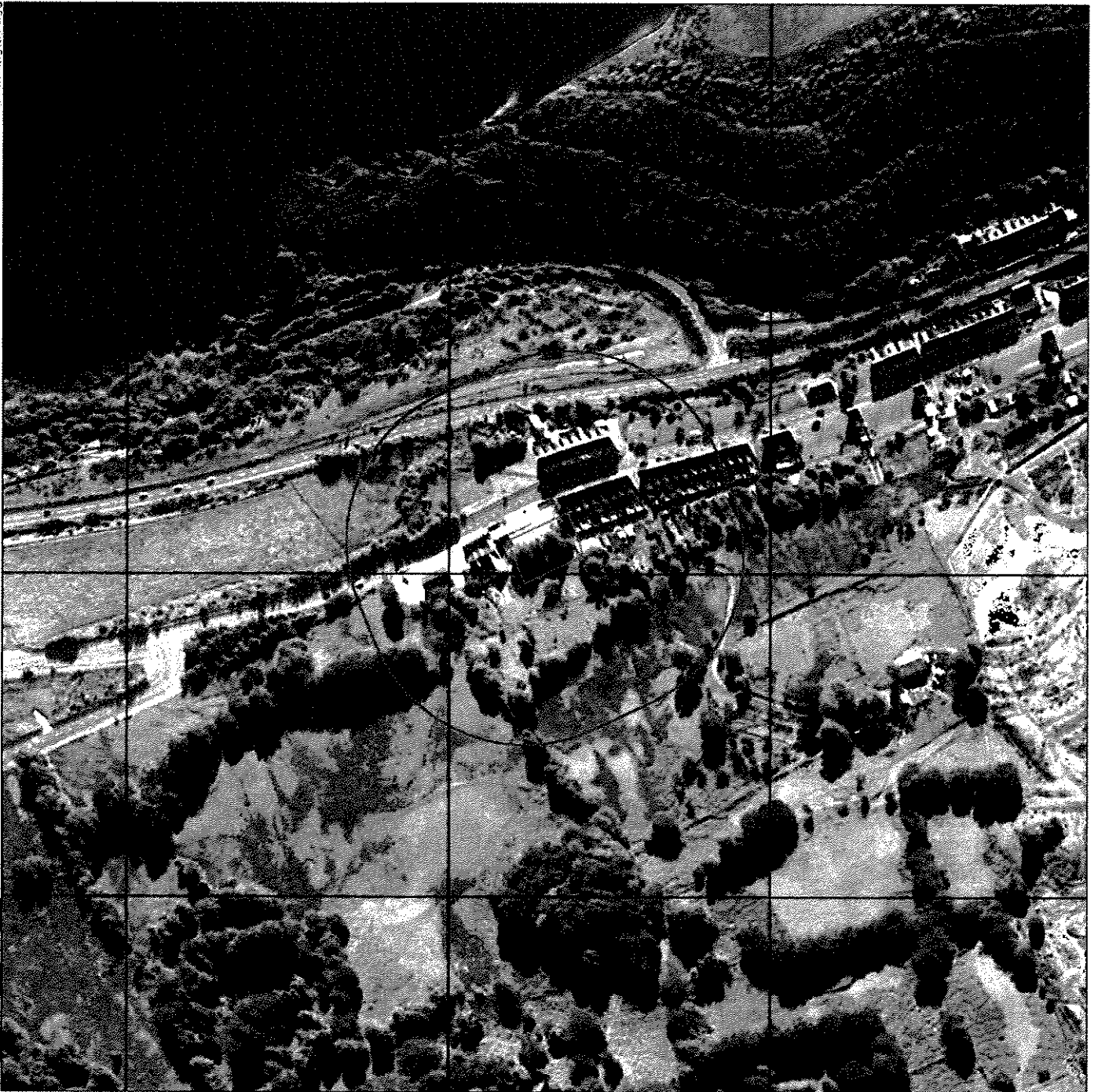
### Site Details

Ac Types and Exhausts, Bourville Road, ABERTILLERY, NP13 3E N

**Landmark**

© 2013 INFORMATION GROUP

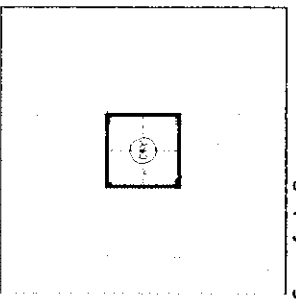




# Geospatial & Geospatial Services **Historical Aerial Photography** **Published 2000**

This aerial photography was produced by Earthmapping, Inc. without aerial photography provide a summary, full color survey of the whole of Great Britain.

## **Historical Aerial Photography - Segment A13**



### **Order Details**

Order Number: 309455805\_1-1  
 Customer Ref: 17764 Bournville  
 National Grid Reference: 320380, 206260  
 Slice: A  
 Site Area (ha): 0.12  
 Search Buffer (m): 100

### **Site Details**

Ac Tyres and Exhausts, Bournville Road, ABERTULLERY, NP13 3EN



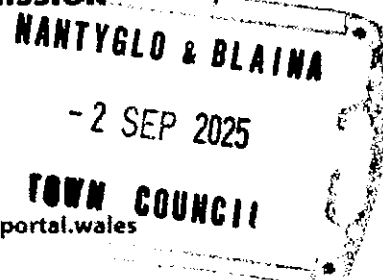
Tel: 0844 844 0852  
 Fax: 0844 844 0851  
 Web: www.earthmapping.co.uk



## Householder Application for Planning Permission

### for works or extension to a dwelling

Town and Country Planning Act 1990



This form is specifically designed to be printed and completed offline.

Please complete this form in block capitals using black ink to facilitate scanning.

You are advised to read the accompanying guidance notes and per-question help text.

If you would rather make this application online, you can do so on our website: <https://planningportal.wales>

#### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Welsh Government for the sole purpose of submitting information to the Local Planning Authority in accordance with the legislation detailed on this form and other relevant items of primary and subordinate legislation.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it.

Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to the Local Planning Authority in agreement with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Planning Authority to inform you of its obligations in regards to the processing of your application.

Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

#### Local Planning Authority details:

#### Blaenau Gwent CBC Planning Control / Rhoeli Cynllunio CBS Blaenau Gwent

**General Offices**

Steelworks Road

Tylwyn, Ebbw Vale, NP23 6AA.

Tel: 01495 355555 Fax: 01495 355598

Email: [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)
**Swyddfeydd Cyffredinol**

Heol Gwaith Dur

Tŷ Llwyn, Glyn Ebwy, NP23 6AA.

Ffôn: 01495 355555 Ffacs: 01495 355598

E-bost: [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)

[www.blaenau-gwent.gov.uk](http://www.blaenau-gwent.gov.uk)

#### Publication on Local Planning Authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website.

Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information.

If you require any further clarification, please contact the Local Planning Authority directly.

#### 1. Applicant Name and Address

Title:	<input type="text"/>	First name:	<input type="text"/>
Last name:	<input type="text"/>		
Company (optional):	<input type="text"/>		
Unit:	<input type="text"/>	House number:	<input type="text"/>
		House suffix:	<input type="text"/>
House name:	<input type="text"/>		
Address 1:	<input type="text"/>		
Address 2:	<input type="text"/>		
Address 3:	<input type="text"/>		
Town:	<input type="text"/>		
County:	<input type="text"/>		
Country:	<input type="text"/>		
Postcode:	<input type="text"/>		

#### 2. Agent Name and Address

Title:	<input type="text"/>	First name:	<input type="text"/>
Last name:	<input type="text"/>		
Company (optional):	<input type="text"/>		
Unit:	<input type="text"/>	House number:	<input type="text"/>
		House suffix:	<input type="text"/>
House name:	<input type="text"/>		
Address 1:	<input type="text"/>		
Address 2:	<input type="text"/>		
Address 3:	<input type="text"/>		
Town:	<input type="text"/>		
County:	<input type="text"/>		
Country:	<input type="text"/>		
Postcode:	<input type="text"/>		





### 3. Description of Proposed Works

Please describe the proposed works:

Proposed single storey extension to south-west elevation of dwelling.

Has the work already started? ☐ Yes ☒ No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work already been completed? ☐ Yes ☒ No

If Yes, please state when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

### 4. Site Details

Please provide the full postal address of the application site.

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Town:

County:

Postcode (optional):

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Easting:  Northing:

Description:

### 5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle or pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way?

☐ Yes ☒ No

Please show details of any existing or proposed rights of way on or adjacent to the site, as well as any alterations to pedestrian and vehicle access, on your plans or drawings.



## 6. Pre-application Advice

Has pre-application advice been sought from the local planning authority about this application? ☐ Yes ☒ No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible: ☐

Officer name:

Reference:

Date (DD MM YYYY):  
(must be pre-application submission)

Details of the pre-application advice received:

## 7. Biodiversity and Geological Conservation

Does your proposal involve:

(i) demolition of a building? ☐ Yes ☒ No

(ii) alterations or enlargement to your roof? ☐ Yes ☒ No

(iii) the loss of any trees or hedges? ☐ Yes ☒ No

If you have answered Yes to any of the above questions, you may be required to submit a biodiversity survey to your local planning authority with your application form.  
Your local planning authority will be able to advise you further.

## 8. Parking

Will the proposed works affect existing car parking arrangements? ☐ Yes ☒ No

If Yes, please describe:

## 9. Authority Employee / Member

With respect to the Authority, I am:

a) a member of staff  
b) an elected member  
c) related to a member of staff  
d) related to an elected member

Do any of these statements apply to you?  
☐ Yes ☒ No

If Yes, please provide details of the name, relationship and role

## 10. Trees and Hedges

Are there any trees or hedges on the site or adjoining the proposed site that would be affected by the development proposal? ☐ Yes ☒ No

If you have answered Yes, you may need to provide a survey before your application can be validated. Your local planning authority can advise on whether a survey is required. All tree surveys should accord with BS5837.



## 11. Ownership Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

### Certificate of Ownership – Certificate A

#### Town and Country Planning (Development Management Procedure) (Wales) Order 2012

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

<div></div>	<div></div>	<div></div>
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### Certificate of Ownership – Certificate B

#### Town and Country Planning (Development Management Procedure) (Wales) Order 2012

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

<div></div>	<div></div>	<div></div>
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### Certificate of Ownership – Certificate C

#### Town and Country Planning (Development Management Procedure) (Wales) Order 2012

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

<div></div>
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Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

<div></div>	<div></div>
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Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

<div></div>	<div></div>	<div></div>
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## 11. Ownership Certificates (continued)

### Certificate of Ownership – Certificate D Town and Country Planning (Development Management Procedure) (Wales) Order 2012

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

## 12. Agricultural Holdings

### Agricultural Holding Certificate Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

(B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

## 13. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Applications for planning permission in Wales must be accompanied by certain additional supporting documents if they exceed certain thresholds. For detailed information please refer to Welsh Government Circular WGC 002/2012. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

The original and 3 copies of a completed and dated application form:



The original and 3 copies of a design and access statement where proposed work falls within a World Heritage Site



The original and 3 copies of other plans and drawings or information necessary to describe the subject of the application:

The correct fee: FEE PAID



The original and 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



The original and 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):



The original and 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings):







#### 14. Declaration

I/we hereby apply for planning permission as described in this form and the accompanying plans/drawings and additional information. I confirm that, to the best of my knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

(date cannot be pre-application)

#### 15. Applicant Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Email address (optional):

#### 16. Agent Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Email address (optional):

terrismorgan001@btinternet.com

#### 17. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes

☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? *(Please select only one)*

☒ Agent

☐ Applicant

☐ Other (if different from the agent/applicant's details)

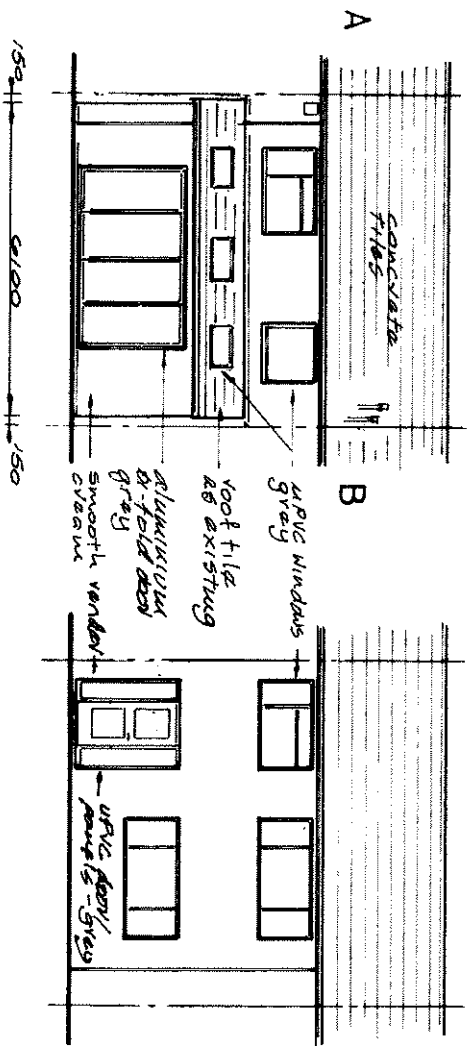
If Other has been selected, please provide:

Contact name:

Telephone number:

Email address:

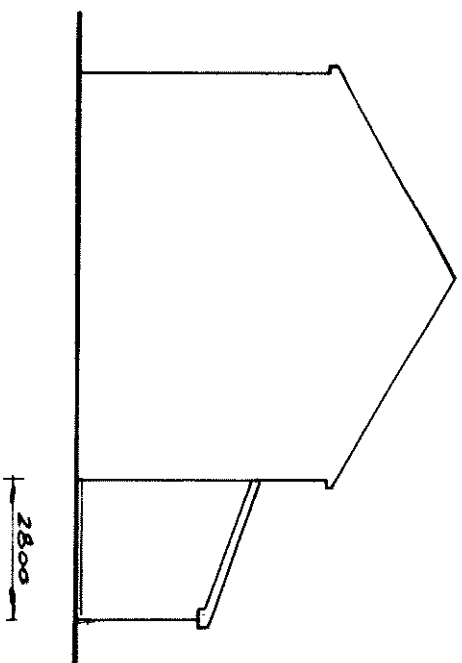




rear elevation

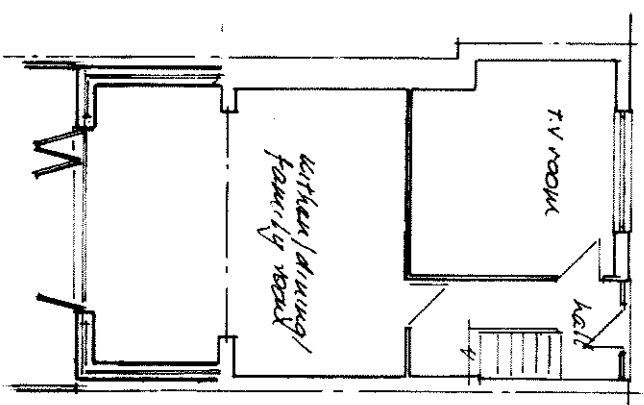
1500 150

front elevation

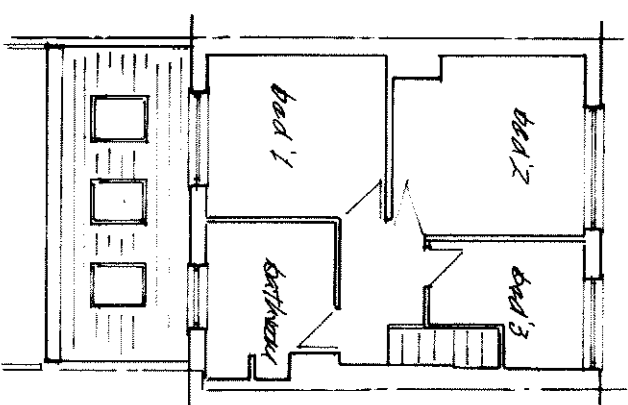


elevation A

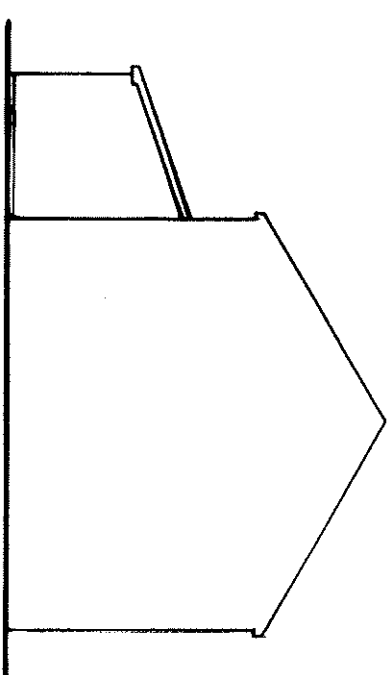
2800



ground floor plan



first floor plan

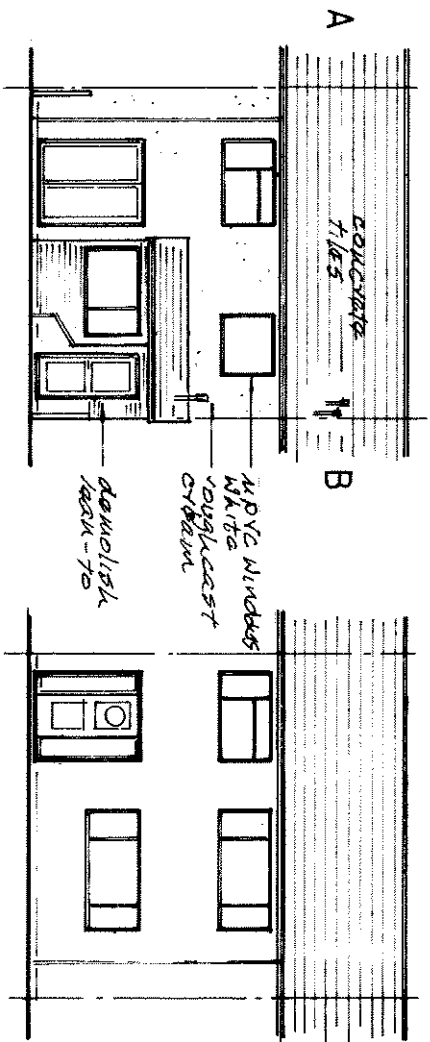


elevation B

Agent	Project
T. Morgan	10 Livingston Road Nantyglo
C. H. H. H.	Proposed single storey extension
W. H. H.	Proposed elevations
G. H. H.	and floor plans
01445 890852	21/12 7.4.25 1-100/A3 7.4

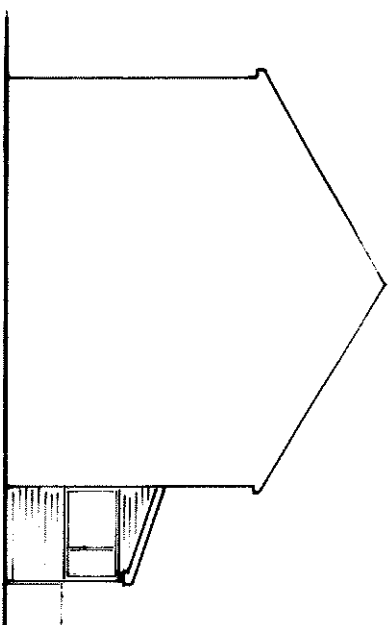
Rev. 1.  
 11-7-25 7.4  
 11-7-25 7.4  
 11-7-25 7.4



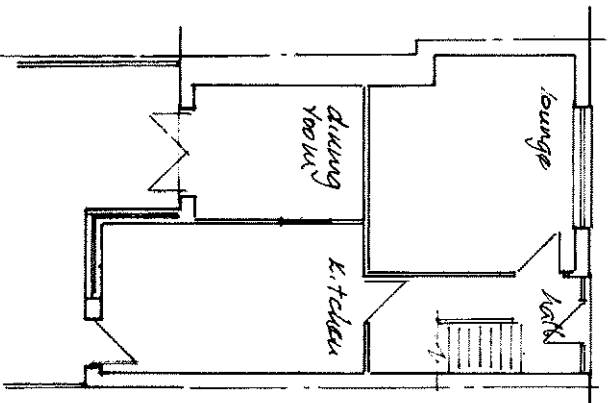


rear elevation

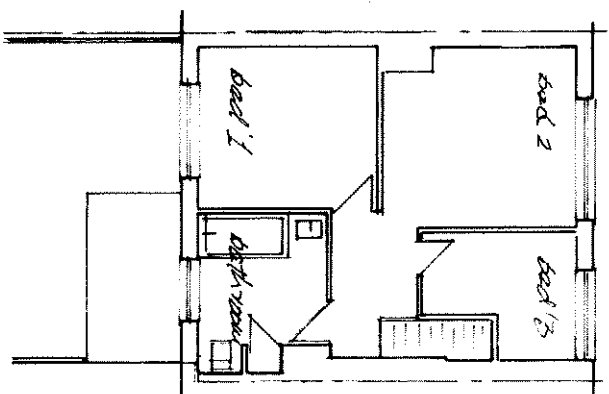
front elevation



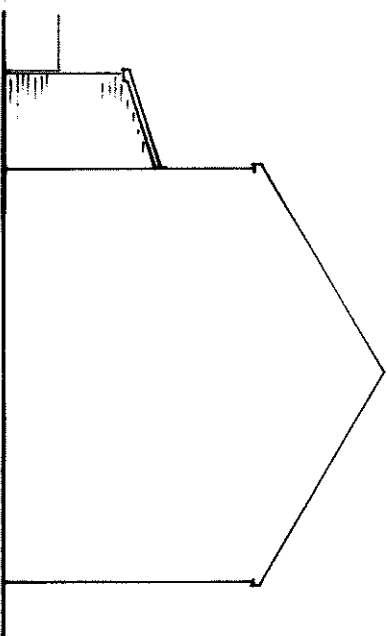
elevation A



ground floor plan



first floor plan



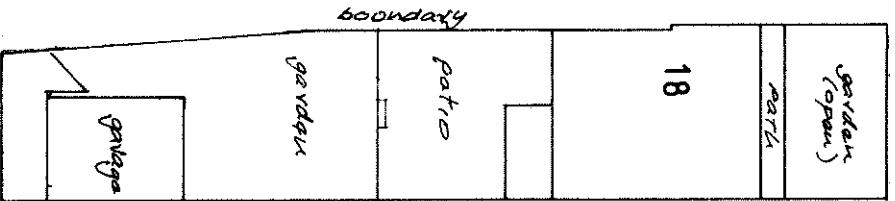
elevation B

Rev A  
ref to front  
and rear  
elevations  
11-7-78 TAC

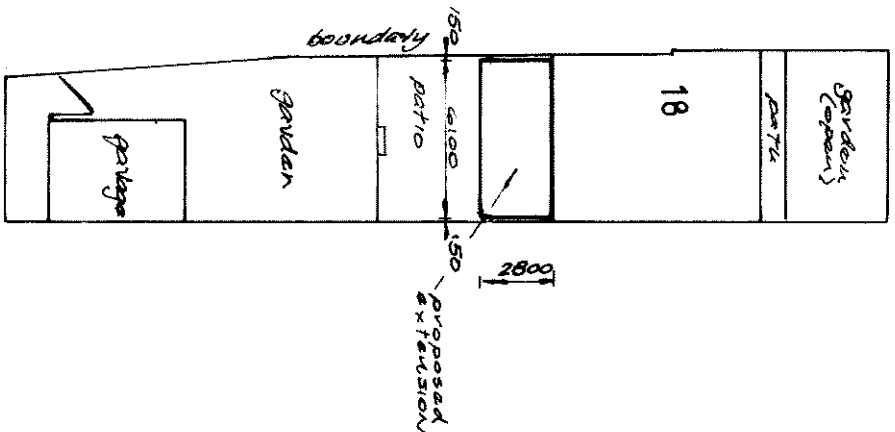
Agent	Project
T. Morgan	18 Limestone Road Northgate
Clifton Hayes	Eden Vale
Leeds	Proposed single storey extension
01454 280852	EXISTING ELEVATIONS AND FLOOR PLANS
	Drawing title
29/10	DATE
421/1	SCALE
	1:100 (A3)
	TAC



1 |



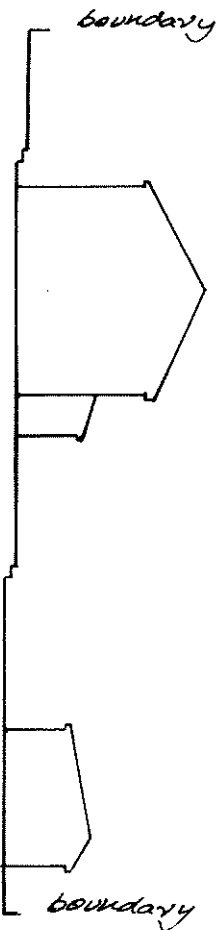
2 |



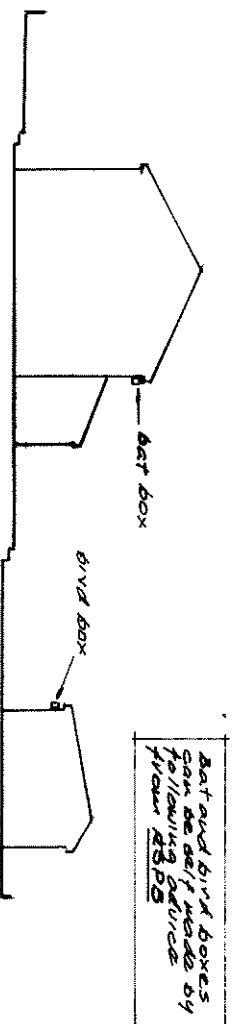
1 |  
block plan  
existing

2 |  
block plan  
proposed

1-1



2-2

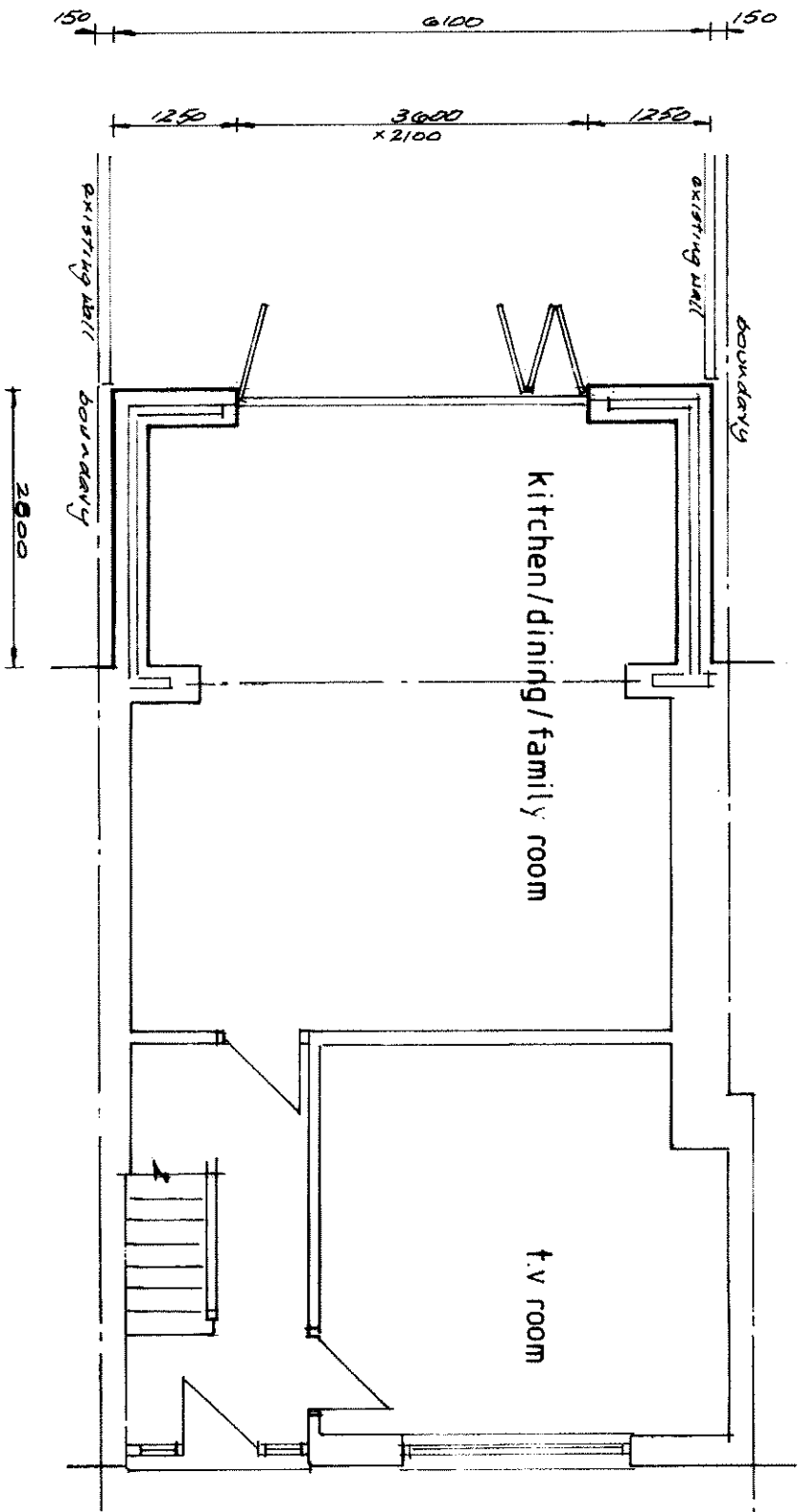


Rev. A  
Extension depth  
varies 15-400  
mm

Agent		Project	
T. Morgan		18 Limestone Road, Nantyglo	
Clifford House		F444J Werle	
Weston		proposed single storey extension	
Gibson		Drawing title	
Garbit		Block Plans existing and	
Tel: 01495 290852		proposed	
		Date: 22/1/14	
		Scale: 1:25	
		Drawn: 22/1/14	
		T.M.	







ground floor plan

REV. A  
DIMENSION OF  
ENTRANCE  
CHANGED 15-11-15  
TH

Agent	Project
T. Morgan	18 Limestone Road, Nantyglo
Clifton House	Edith Villa
Blauwe	Proposed single storey extension
Garage	Drawing title
Ref:	Proposed ground floor
01445 290857	18/11/15
421/3	7-11-15
	1-50/15
	TH



## **Green Infrastructure Statement (ref: 421/5)**

### **18 Limestone Road, Nantyglo, Ebbw Vale, Gwent, NP23 4ND**

#### **Site Description and Introduction**

A Planning Application is proposed for a single storey extension to provide an improved kitchen/dining/family room at the front of the property.

#### **Existing Boundary/Garden**

There are no issues with boundaries, as they are not affected in any way, there are no hedges at either front or rear, the rear has always been an open space with no defined boundaries, it is not intended to change this at the present time. The front garden is a mix of some soft areas and some paved adjacent to the house. In the lawn area there will be some additional beds for shrubs that will encourage pollinators such as:

Hawthorn, Flowering Currant, Hebe, Sweet Box, Viburnum, this is not a definitive selection. The proposed planting will encourage plants that provide some winter food for birds and also to provide some protection during colder spells.

In the lawn and in pots on the paved area spring flowers will also be encouraged for example Crocus, Primrose, English Lavender, Narcissus.

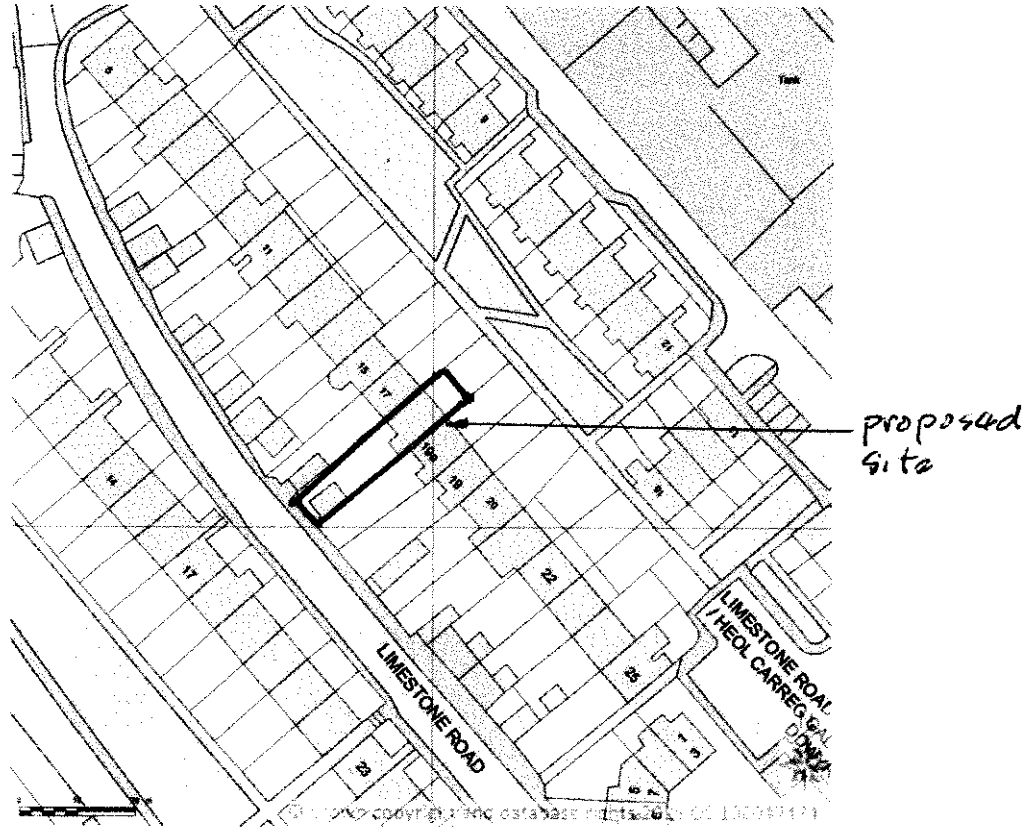
#### **Biodiversity Enhancements**

Bird and bat boxes to be fixed to the main house and garage as indicated on plan ref. 421/4

It should be considered bird and bat boxes can be self-made, provided advice is taken from RSPB regarding material/design/provision to clean etc. It should be noted for example timber should not be treated as this tends to be 'offensive' to bats as they are sensitive to strong timber preservation smells. There are timbers that are suitable, they need to be sourced correctly, they will be suitably stamped for this use. The option to purchase the manufactured boxes is also an option, for example Woodstone.



**SITE LOCATION PLAN**  
**AREA 2 HA**  
**SCALE 1:1250 on A4**  
**CENTRE COORDINATES: 319198, 211019**



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