

# NANTYGLO & BLAINA TOWN COUNCIL CYNGOR TREF NANT-Y-GLO A BLAENAU

Mrs T Hughes - Town Clerk/RFO

Council Offices, Blaina Institute, High Street, Blaina NP13 3BN  
Swyddfa'r Cyngor, Sefydliad Blaenau, Y Stryd Fawr, Blaenau NP13 3BN

Tel: 01495 292817 E-mail: [clerk@nantygloandblainatc.co.uk](mailto:clerk@nantygloandblainatc.co.uk)

Dear Member,

You are summoned to attend a hybrid meeting of the Highways and Planning Committee at Town Council Chamber, Blaina Institute, High Street, Blaina. to be held **on Tuesday 14<sup>th</sup> May 2024 at 6pm.**

If any Council Member or member of the public wishes to attend the meeting remotely, please contact the Town Clerk at the above e-mail or phone by 3pm on 14<sup>th</sup> May 2024 for details of how to access the meeting.

Yours sincerely

  
Town Clerk

## AGENDA

**A meeting to which members of the public are entitled to attend.**

### Declaration of Interest

Members are invited to declare matters of interest either at the beginning or at any time during the proceedings. Members are reminded that all declarations of interest must be recorded in the book provided.

**1. Apologies for absence:**

Members are invited to consider the apologies for absence and to formally resolve to accept.

**2. Questions from the public:**

To receive any questions from the public regarding matters on the agenda. There is a 10-minute allocation time for any questions from the public.

**3. Correspondence:**

Members are invited to consider the listed correspondence, plus with the Chair's permission, any urgent information that may well be received prior to the date of the meeting.

**a) Blaenau Gwent County Borough Council (for consideration & information):**

E-mail and information in respect of Application to install Season Decorations & other adornments over the Highway – Under section 178 of the Highways Act (*copies attached*).

**Tracy**

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**From:** Cuss, Catherine <Catherine.Cuss@blaenau-gwent.gov.uk>  
**Sent:** 03 May 2024 14:36  
**Subject:** Christmas Decoration Application  
**Attachments:** Christmas Lighting Form 2024.xlsx; seasonaldecorationsapplicationform- Final 24.docx

Good Afternoon All

I have been in discussion with some groups and Councillors regarding the installation of Christmas adornments and/or motifs on Blaenau Gwent street lighting columns. In order to consider your application please can you complete and return the attached forms with the column numbers, adornments/motifs design and specification.

Once the department has received your completed forms we will inspect the street columns and identify if they suitable/safe to attach any additional weight to, and if structural testing is required, which I will advise accordingly. We are currently in the process of finalising a further supporting document which will follow shortly.

Please refrain from installing any decorations/motifs without first receiving approval.

If you are not the contact for the area or group can you please advise me and I will update our records, if I can be of any further assistance please do not hesitate to get in touch.

Catherine Cuss

Waste Services & Fleet Management Team Leader | Arweinydd Tîm Gwasanaethau Gwastraff a Rheoli Ffild  
Phone | Ffon: 01495 355648  
Email | E-bost: [catherine.cuss@blaenau-gwent.gov.uk](mailto:catherine.cuss@blaenau-gwent.gov.uk)  
Blaenau Gwent County Borough Council | Cyngor Bwrdeistref Sirol Blaenau Gwent  
Central Depot | Depo Canolog  
Central Depot, Barleyfield Industrial Estate, Brynmawr NP23 4YF | Depot Canolog, Ystad Ddiwydiannol Barleyfield, Brynmawr NP23 4YF  
Website: <https://www.blaenau-gwent.gov.uk/en/home/>  
Twitter: <http://www.twitter.com/blaenauqwentcbc>  
Facebook: <http://www.facebook.com/blaenauqwentcbc>

Mae'r Cyngor yn croesawu gohebiaeth yn Gymraeg a Saesneg a byddwn yn cyfathrebu gyda chi yn eich dewis iaith, dim ond i chi rhoi gwybod i ni pa un sydd well gennych. Ni fydd gohebu yn Gymraeg yn creu unrhyw oedi.

The Council welcomes correspondence in Welsh and English and we will communicate with you in the language of your choice, as long as you let us know which you prefer. Corresponding in Welsh will not lead to any delay.

Mae'r Cyngor yn croesawu gohebiaeth yn Gymraeg, Saesneg neu yn y ddwy iaith. Byddwn yn cyfathrebu â chi yn ôl eich dewis. Ni fydd gohebu yn Gymraeg yn arwain at oedi.

Mae'r neges ebost hon, ynghyd ag unrhyw ffeiliau sydd ynghlwm wrthi, yn gyfrinachol ac at ddefnydd yr unigolyn neu sefydliad y cyfeiriwyd hi ato. Pe dderbynioc y neges hon mewn camgymeriad, byddwch mor garedig a rhoi gwybod i'r rheolwr system. Mae'r nodyn hwn hefyd yn cadarnhau bod y neges ebost hon wedi cael ei archwilio am bresenoldeb feirws cyfrifiadurol.

**Application to install Seasonal Decorations and other adornments over the Highway - Under Section 178 of the Highways Act**

I have read and agree to the terms and conditions set out in our guidance document and are applying for permission to erect Seasonal Decorations/hanging baskets etc. over the highway.

**A. Contact Details**

<b>Organisation</b>	Click here to enter text.	
<b>Address (Including Postcode)</b>	Click here to enter text.	
<b>Contact name</b>	Click here to enter text.	
<b>24hr Contact number</b>	Click here to enter text.	
<b>Contact Address</b> <i>(if different from above)</i>	Click here to enter text.	
<b>Email address</b>	Click here to enter text.	
<b>Location address*</b>	<b>Town</b> Click here to enter text.	<b>Road name</b> Click here to enter text.
<b>Street lighting column numbers &amp; adornments specification*</b>	<b>Please complete the attached form</b>	

**B. The Installation**

<b>Dates attachment in place</b>	<b>From:</b> Click here to enter a date.	<b>To</b> Click here to enter a date.
<b>Is it proposed to have catenary wires stretched across the highway?</b> <i>(tick where appropriate)</i>	<b>YES</b> <input type="checkbox"/>	<b>NO</b> <input type="checkbox"/>
<b>Is it proposed to have electrical connection to Highways Authority Equipment?</b> <i>(e.g. street lighting column)</i>	<b>YES</b> <input type="checkbox"/>	<b>NO</b> <input type="checkbox"/> <i>(continue to section C)</i>
<b>Electrical Requirements</b>	<b>Voltage</b> Click here to enter text.	<b>Wattage</b> Click here to enter text.



Cyngor Bwrdeisdref Sirol

# Blaenau Gwent

County Borough Council

*(le gwell i fyw a gweithio - a better place to live and work)*

<b>Fitting contractor details</b> <i>(if appointing contractor)</i>	Name Click here to enter text.	Address <i>(including postcode)</i> Click here to enter text.	
	Telephone/Mobile Click here to enter text.	Email Click here to enter text.	
<b>Professionally approved electrical body contractor is member of</b> <i>(NIC EIC, ASLEC, EAC, HEA, or other approved body)</i>	Body Click here to enter text.	Membership Number Click here to enter text.	
<b>Public Liability Insurance</b>	Insurance Company Click here to enter text.	Amount Click here to enter text.	
<b>Energy account details</b>	Account with Click here to enter text.	Account Number / MPan no. Click here to enter text.	

\*A schedule may be submitted for multiple locations, with the same type/style of attachment.

## C. Baskets

<b>Does the installation include baskets</b> <i>(tick where appropriate)</i>		<b>YES</b> <input type="checkbox"/>	<b>NO</b> <input type="checkbox"/> <i>(continue to section D)</i>
<b>Total number of baskets</b>	Baskets Click here to enter text.		
<b>Brief description of basket content</b>	Description Click here to enter text.	Weight when wet Click here to enter text.	

## D. Undertaking

**Please Note: Detailed drawings and other supporting information will be required for technical review, before application will be granted**

Signed Click here to enter text.

Date Click here to enter a date.

Authority Click here to enter text.

Position Click here to enter text.



Cyngor Bwrdeistref Siral

**Blaenau Gwent**

County Borough Council

*lle gwell i fyw a gweithio - a better place to live and work*

	COLUMN NUMBER	ADORNMENT DESIGN (Shooting Star, Bell, Xmas Tree, String lights etc)	SPECIFICATION DETAILS (Weight, Dimensions etc)
1			
2			
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Item no. 4a



**Please quote : P/2024/0086**

Direct line : 01495 355821

23 April 2024

Dear Sir/Madam

**TOWN AND COUNTRY PLANNING ACT 1990**

**APPLICATION FOR PLANNING PERMISSION**

**Application for Variation of Condition 13 (To extend life of permission) of planning permission C/2019/0003  
(Erection of 7 residential dwelling (C3) with associated infrastructure**

**Development Site 13 To 17 Beech Tree Crescent, Tanglewood, Blaina, Blaenau Gwent,**

I enclose for your information, a copy of the application form and site location plan in respect of a planning application for development. If you wish to request that the application is presented to Planning Committee, you must do so in writing specifying the specific aspects of the development that concern you. Please contact me if you wish to discuss the case further.

Yours sincerely

Joanne White  
Team Leader Development Management  
Email: [joanne.white@blaenau-gwent.gov.uk](mailto:joanne.white@blaenau-gwent.gov.uk)

**NANTYGLO & BLAINA**

23 April 2024

**TOWN COUNCIL**



Stantec UK Limited  
Studio 117, The Creative Quarter, 8a Morgan Arcade  
Cardiff  
CF10 1AF  
UNITED KINGDOM

10<sup>th</sup> April 2024

Project/File: Tanglewood 333100994

**Sophie Godfrey**  
Development Management  
Blaenau Gwent County Borough Council  
The General Offices,  
Steelworks Road,  
Ebbw Vale,  
NP23 6DN

Dear Sophie Godfrey,

**SECTION 73 APPLICATION TO VARY CONITION 13 OF FULL PLANNING PERMISSION REF. C/2019/0003 ERECTION OF 7 RESIDENTIAL DWELLINGS (C3) WITH ASSOCIATED INFRASTRUCTURE AT PLOTS 13-17 BEECH TREE CRESCENT & PLOTS 18-19 WOODLAND WALK, TANGLEWOOD, BLAINA.**

On behalf of our client, Allsop LLP, we have been instructed to make an application under Section 73 of the Town and Country Planning Act 1990 to vary Condition 13 of planning permission ref. C/2019/0003 to extend the period for the implementation of the consent by a further five years.

As you are aware, the application site has an extant full planning permission, which was granted on 12<sup>th</sup> April 2019. Condition 13 of the permission states that:

*"The development shall begin not later than five years from the date of this decision notice"*

The applicant is currently in discussions with a view to implementing the existing planning permission, although these discussions will not be concluded in time to begin development before the deadline of the 12<sup>th</sup> April 2024. This Section 73 Application therefore seeks to extend the period for implementation by a further five years (i.e. until 12<sup>th</sup> April 2029).

It is of note that the adjacent permission has been extended under S73 application ref. C/2023/0011 for Plots 2, 3, 4, 8, 9, 11, 11A & 12 Beech Tree Crescent, Tanglewood, Blaina.

There has been no material change of circumstances following the grant of planning consent in April 2019. The relevant LDP is the Blaenau Gwent Local Development Plan (adopted November 2012). The updates to PPW (Edition 12) since the approval was granted have meant that updates to the Ecology reports have been updated to align with the principle of Net Benefit for Biodiversity.

The site falls within the defined settlement boundary of the adopted LDP and has been identified as a committed housing site under Policy HC1 Housing Commitments – HC1.27 Cwm Farm, Blaina. The allocation of site for new homes therefore firmly establishes the principle of new development at this location.

**Flooding**

Design with community in mind

Registered Office: Stantec UK Limited | Buckingham Court, Kingsmead Business Park, Frederick Place, London Road, High Wycombe HP11 1JU | Registered in England No. 01188070

Reference: 333100994

The site is not constrained by flooding according to NRW's Development Advice Map and generally unconstrained according to the new Flood Map for Planning, other than small areas of Flood Risk from Surface Water & Small Watercourses.

### **Agricultural Land Quality**

The site is located within an area of Grades 4, 5 and urban agricultural land quality which is not considered 'best and most versatile' (BMV), which Planning Policy Wales (PPW) states should be conserved as a finite resource for the future, and considerable weight should be given to protecting such land from development, because of its special importance.

### **Built Heritage**

The site is unconstrained in terms of heritage assets as there are no Listed Buildings, Scheduled Monuments or Registered Historic Parks and Gardens located within or near the site. The closest Listed Building is the Salem Baptist Chapel, which is located over 800m away.

### **Ecology / Biodiversity**

According to NRW's natural environment map, there are no statutory designated sites of biodiversity importance within the site boundary or in immediate proximity. There is however a Dedicated Woodland to the north, however this is not impacted by the development. A Preliminary Ecological Appraisal (July 2023) and Reptile Survey (June 2023) have been prepared to support this application to replace the previously approved versions of the reports to align with the requirements of PPW Edition 12.

In light of the above it is considered that there has been no material change in the status of the site, the documentation submitted in support of the original application is considered to be robust for the purpose of this current Section 73 Application. Updates to the Ecology reports which have a two-year shelf life have been undertaken to support this S73 application to align with the updates within Chapter 6 of PPW (Edition 12).

In this regard, I am pleased to enclose the following documentation:

- Application Forms and Certificates;
- Approved Plans and Documents:
  - 3370-02 Tanglewood phase VI plots 13-19 location 19.12.18;
  - 3370-09 Tanglewood phase VI plots 13-19 existing site 19.12.18;
  - 3370-18C Tanglewood phase VI plot 13 plans 22.03.19;
  - 3370-19A Tanglewood phase VI plot 14 plans 19.12.18;
  - 3370-20A Tanglewood phase VI plot 15 plans 19.12.18;
  - 3370-21C Tanglewood phase VI plot 16 plans 18.03.19;
  - 3370-22A Tanglewood phase VI plot 17 plans 19.12.18;
  - 3370-23B Tanglewood phase VI plot 18 plans 03.01.19;



Reference: 333100994

- 3370-24B Tanglewood phase VI plot 19 plans 03.01.19;
- 3370-25A Tanglewood phase VI topo as proposed 18.03.19;
- 3370-26A Tanglewood phase VI site sections as proposed 18.03.19;
- 3370-27A Tanglewood phase VI site sections as proposed 18.03.19;
- 3370-28A Tanglewood phase VI site sections as proposed 18.03.19;
- 3370-29 Tanglewood phase VI site sections as proposed 19.12.18;
- 3370-31A Tanglewood phase VI site constraints 22.03.19;
- attenuation\_tank\_design\_spreadsheet\_v1.3 plot 13 BTC;
- attenuation\_tank\_design\_spreadsheet\_v1.3 plot 15 BTC;
- attenuation\_tank\_design\_spreadsheet\_v1.3 plot 17 BTC;
- Beech Tree Crescent 2017;
- C-2019-0003 - Decision Notice;
- Plots 13-19 Tanglewood Engineer's verification report for foundation design v.2 22.03.19;
- Tanglewood - Construction Management Plan rev B;
- Tanglewood desktop geological report Hernon Associates 31.10.17;
- Tanglewood Thyssen report;
- 3370-30B landscaping proposed plots 13-19;
- 3370 plots 13-19 landscape spec planting plan;
- Tanglewood Blaina, PEA Report V3;
- Tanglewood Reptile Survey Report V2; and
- Decision Notice ref: C/2019/0003

The Application fee of £230 has been paid under separate cover.

I trust that the above and enclosed is sufficient to validate the application and I look forward to your confirmation of receipt in due course. However, if you require any additional information, please let me know.

Sincerely,

Reference: 333100994

STANTEC UK LIMITED

*Leo Horton-Taylor*

Leo Horton-Taylor  
Planner  
Phone: +44 2922 947781  
[leo.horton-taylor@stantec.com](mailto:leo.horton-taylor@stantec.com)

**Blaenau Gwent CBC Planning Control / Rhoeli Cynllunio CBS Blaenau Gwent**

**General Offices**  
 Steelworks Road  
 Tyllwyn, Ebbw Vale, NP23 6AA.  
**Tel:** 01495 355555 **Fax:** 01495 355598  
**Email:** [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)

**Swyddfeydd Cyffredinol**  
 Heol Gwaith Dur  
 Tŷ Llwyn, Glyn Ebwy, NP23 6AA.  
**Ffon:** 01495 355555 **Ffacs:** 01495 355598  
**E-bost:** [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)



[www.blaenau-gwent.gov.uk](http://www.blaenau-gwent.gov.uk)

## Application for Removal or Variation of a Condition following Grant of Planning Permission

### Town and Country Planning Act 1990; Planning (Listed Buildings and Conservation Areas) Act 1990

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

#### Site Details

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Town/city

Postcode

#### Description of site location (must be completed if postcode is not known)

Easting (x)

Northing (y)

Description

#### Applicant Details

## Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

## Contact Details

Primary number

Secondary number

Email address

## Name/Company

Title

Mr

First name

Leo

Surname

Horton-Taylor

Company Name

Stantec

## Address

Address line 1

Stantec

Address line 2

Studio 117 The Creative Quarter

Address line 3

8a Morgan Arcade

Town/City

Cardiff

Country

United Kingdom

Postcode

CF10 1AF

## Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

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## Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

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ERECTION OF 7 RESIDENTIAL DWELLINGS (C3) WITH ASSOCIATED INFRASTRUCTURE AT PLOTS 13-17 BEECH TREE CRESCENT  
& PLOTS 18-19 WOODLAND WALK, TANGLEWOOD, BLAINA

Reference number

C/2019/0003

Date of decision (date must be pre-application submission)

12/04/2019

**Please state the condition number(s) to which this application relates**

Condition number(s)

13

Has the development already started?

- ☐ Yes  
☒ No

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## Condition(s) - Removal

Please state why you wish the condition(s) to be removed or changed

To extend the consent for a further five years to allow the development to be built

If you wish the existing condition to be changed, please state how you wish the condition to be varied

Work will begin on site no later than five years from the date of this permission.

The wording of the condition would remain the same, but would apply to the new S73 consent

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## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- ☒ Yes  
☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- ☒ The agent  
☐ The applicant  
☐ Other person

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## Pre-application Advice

Has pre-application advice been sought from the local planning authority about this application?

- ☐ Yes  
☒ No

Reference: PP-12915456

## Ownership Certificates

### Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Please answer the following questions to determine which Certificate of Ownership you need to complete: A,B,C or D.

Are you the sole owner of ALL the land?

☒ Yes

☐ No

#### Certificate of Ownership - Certificate A

I certify/the applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least seven years left to run) of any part of the land or building to which the application relates.

Person Role

☐ The Applicant

☒ The Agent

Title

Mr

First Name

Leo

Surname

Horton-Taylor

Declaration Date

10/04/2024

☒ Declaration made

## Agricultural Holding Certificate

### Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Agricultural land declaration - you must select either A or B

☒ (A) None of the land to which the application relates is, or is part of an agricultural holding

☐ (B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below

Person Role

☐ The Applicant

☒ The Agent

Title

Mr

First Name

Leo

Horton-Taylor

Declaration Date

10/04/2024

☒ Declaration made

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## Declaration

I/We hereby apply for Removal/Variation of a condition as described in the questions answered, details provided, and the accompanying plans/drawings and additional information.

I/We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

I/We also accept that:

- Once submitted, this information will be made available to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website;
- Our system will automatically generate and send you emails in regard to the submission of this application.

☒ I / We agree to the outlined declaration

Signed

Leo Horton-Taylor

Date

11/04/2024





Blaenau Gwent County Borough Council

**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

Town and Country Planning Act 1990 *(as amended)*

Town and Country Planning (Development Management Procedure) (Wales) Order 2012 *(as amended)*

**FULL PLANNING PERMISSION FOR DEVELOPMENT**

To  
Mr S Prior  
Mayfair Construction Ltd  
C/o Powells Chartered Surveyors  
Singleton Court Business Park  
Monmouth

**In pursuance of its powers under the above mentioned Act & Order, Blaenau Gwent County Borough Council ("the Council") as Local Planning Authority hereby permits:-**

Erection of 7 residential dwellings (C3) with associated infrastructure at Plots 13-17 Beech Tree Crescent & Plots 18-19 Woodland Walk, Tanglewood, Blaina

**in accordance with the application submitted to the Council subject to the conditions specified under:-**

1. The development shall be completed in full accordance with the following approved plans and documents:
  - Location Plan Plots 13 -19 Drwg No 3370-02, dated 15.11.2018, received 20.12.2018
  - Revised Site details Plan Drwg No 3370-25 dated 18.3.2019 received 19.3.2019
  - Revised Plot 13 Proposed Plan Drwg No 3370-18B dated 18.3.2019 received 19.3.2019
  - Plot 14 Proposed Plan Drwg No 3370- 19A dated 19.12.2018 received 20.12.2018.
  - Plot 15 Proposed Plan Drwg No 3370- 20A dated 19.12.2018 received 20.12.2018
  - Revised Plot 16 Proposed Plan Drwg No 3370- 21C dated 18.03.2019 received 19.03.2019
  - Plot 17 Proposed Plan Drwg No 3370- 22A dated 19.12.2018 received 20.12.2018
  - Plot 18 Proposed Plan Drwg No 3370- 23B dated 03.01.2019 received 04.01.2019
  - Plot 19 Proposed Plan Drwg No 3370- 24B dated 19.12,2018 received 04.01.2019
  - Revised Site Cross Sections Drwg No 3370- 26A dated 18.03.2019 received 19.03.2019

- Revised Site Cross Sections Drwg No 3370- 27A dated 18.03.2019 received 19.03.2019
- Revised Site Cross Sections Drwg No 3370- 28A dated 18.03.2019 received 19.03.2019
- Site Cross Sections Drwg No 3370- 29 dated 19.12.2018 received 20.12.2018
- Revised Proposed Landscaping Details Dreg No 3370-30A dated 18.03.2019 received 19.03.2018
- Building Materials e-mail dated 22<sup>nd</sup> March 2019 from [stuart.leaver@powellsrural.co.uk](mailto:stuart.leaver@powellsrural.co.uk)
- Verification of foundation design at Plots 13 -17 Beech Tree Crescent and Plots 18 and 19 Woodland Walk Tanglewood Blaina Hernon Associates, dated 20<sup>th</sup> December 2018 received on 20<sup>th</sup> December 2018.
- Extended Phase 1 Habitat Survey, November 2015, stamped received 20<sup>th</sup> December 2018
- Reptile Survey Report, November 2015, stamped received 20<sup>th</sup> December 2018
- BE Ecological Technical Note, dated 12<sup>th</sup> January 2018 received 20<sup>th</sup> December 2018
- Tree Survey Arboricultural Impact Assessment and Method Statement by Mackley Davies Associates, August 2016, stamped received 20<sup>th</sup> December 2018

unless otherwise specified or required by conditions 2 – listed below.

2. No work shall commence on site until all tree protection measures identified in the submitted Tree Survey (Mackley Davies Associates, August 2016) are implemented. Such protection measure works shall be overseen by a qualified arborist undertaken in accordance with an approved arboricultural watching brief. Details of the arborist and a watching brief shall be submitted in writing for approval for approval to the Local Planning Authority at least five working days before works commence on site. The approved protection measures shall be maintained during the course of development and retained until all works are completed and materials are removed from site (or an alternative timescale otherwise agreed by the Local Planning Authority).
3. Notwithstanding the details indicated on the approved plans no development shall commence on site (other than for ground profiling and intrusive site investigation works) until details are submitted to and approved by the Local Planning Authority of a scheme for the comprehensive and integrated drainage of the site showing how foul water, surface water and land drainage will be dealt with. None of the dwellings hereby approved shall be occupied until all drainage works relating to that plot and its connection to the wider drainage network are completed in accordance with the approved details.
4. No development shall commence until a Construction Method Statement has been submitted to and approved in writing by The Local Planning Authority. The Statement shall provide details of :-

- hours of working;
- the parking of vehicles of site operatives and visitors;
- delivery of materials.
- wheel washing facilities;
- storage of plant and materials used during construction;
- the erection and maintenance of security hoarding ;
- measures to control the emissions of dust and dirt during construction;
- a scheme for the recycling/disposing of waste resulting from the construction works; and
- the siting and details of any construction compound.

Such details and measures as contained in a Statement that is approved in writing by the Local Planning Authority shall be adhered to throughout the construction period.

5. Notwithstanding the details indicated on the approved plans (nor any other details which accompanied the application), no works in relation to any of the retaining walls indicated on the approved plans (or any other retaining structures proposed on the plot) shall commence until details of their position, height, and finishes are submitted for the approval of the Local Planning Authority. Details of any structures which are required to retain in excess 1.5 metres must be accompanied by supporting calculations or a certificate signed by a suitably qualified engineer that shall verify the structural integrity of such works. All works implemented shall be completed in full accordance with such details and specifications as may be approved in writing by the Local Planning Authority before the dwelling to which they relate is occupied.
6. Notwithstanding those details indicated on the approved plans no works beyond the laying of the floor slab shall be undertaken in relation to each plot until full details of the boundary enclosures for that lot are submitted to and approved in writing by the Local Planning Authority. No dwelling hereby approved shall be occupied until such enclosures as may be approved are provided in accordance with the approved details.
7. The dwellings hereby approved shall not be occupied until all external elevations and finishes are completed in full accordance with the details indicated on the approved plans and the specifications confirmed in the e-mail from [stuart.leaver@powellsrural.co.uk](mailto:stuart.leaver@powellsrural.co.uk) at 16:20 on 22<sup>nd</sup> March 2019.
8. None of the dwellings hereby approved shall be occupied until the access, driveway and parking areas relating to that property are constructed, surfaced and drained as indicated on the approved plans at a gradient of no greater than 1 in 8. All the parking areas approved (including garages) shall be retained for parking purposes at all times, unless otherwise agreed in writing by the Local Planning Authority.
9. The dwellings hereby approved shall not be occupied until the road and footways fronting and/or serving that property from the public highway has been laid out and constructed to a minimum of binder course level, and any street lighting to be

- provided has been erected and energised in accordance with details to be submitted to and approved in writing by the Local Planning Authority.
10. Notwithstanding any details indicted on the Proposed Landscaping Details, Drwg No 3370 -30A, no works beyond the laying of the floor slab shall be undertaken on each plot until a details landscaping scheme relative to that plot are submitted to and approved in writing by the Local Planning Authority. The submitted scheme shall include :-
    - (a) details of ground preparation, planting plans, number and details of species;
    - (b) maintenance proposals for a minimum period of 5 years; and
    - (c) details of the implementation timescales
  11. No works shall commence on site in relation to the development of plots 13, 15 nor 17 Beech Tree Crescent until details are submitted to the Local Planning of the construction and surfacing of the footpath to be provided between plots 11a and 13 Beech Tree Crescent. Such details shall include confirmation of the timescales for implementation of the works and the future maintenance of the footpath. All works shall be implemented in full accordance the approved details and such timeframe as may be approved in writing by the Local Planning Authority.
  12. The applicant/ developer shall ensure that the development is implemented in full accordance with all the recommendations contained in Reptile Survey Report, November 2015, stamped received 20<sup>th</sup> December 2018 and the BE Ecological Technical Note, dated 12<sup>th</sup> January 2018 received 20<sup>th</sup> December 2018
  13. The development shall begin not later than five years from the date of this decision notice.

**The reasons for attaching the above conditions are:-**

1. To clearly define the scope of this permission.
2. To ensure that the protected and retained trees on the site are suitably safeguarded during the construction stage of the development.
3. To ensure that effective drainage facilities are provided for the proposed development and that no adverse impact occurs to the environment or the existing public sewerage system.
4. To safeguard local amenity interests and to ensure that the impacts of the construction phase of the development are appropriately and adequately addressed.
5. To safeguard the integrity of any retaining works required in association with the approved development and to safeguard visual amenity interests.
6. To safeguard visual amenity interests.
7. To safeguard the visual amenities of the area.
8. To ensure the parking needs of the development are adequately met and to safeguard highway interests.
9. To ensure suitable vehicular and pedestrian access to the site and to safeguard highways safety.

10. To ensure submission of an appropriate landscaping scheme and to secure a development that makes a positive contribution to the landscape and visual amenities of the area.
11. To ensure provision of a suitable pedestrian link to an established footpath network.
12. To safeguard ecological interests
13. To comply with the requirements of Section 91 of The Town and Country Planning Act 1990.

#### Informative Advice

1. The proposed development lies within a coal mining area which may contain unrecorded mining related hazards. If any coal mining features are unexpectedly encountered during development, these should be reported immediately to The Coal Authority on 0345 762 6848. Further information is available on The Coal Authority website at: [www.gov.uk/government/organisations/the-coal-authority](http://www.gov.uk/government/organisations/the-coal-authority)
2. The applicant is reminded that Badgers and their setts are fully protected under the Protection of Badgers Act 1992 and are listed under Schedule 6 of the Wildlife and Countryside Act 1981 (as amended). A check for badger activity on the site should be undertaken by a suitably experienced ecologist to ensure no new setts have been created before development starts. Should any setts be discovered the applicant is advised to contact the Council Ecologist for further guidance.
3. The developer is advised that Japanese Knotweed is listed in Schedule 9 of the Wildlife and Countryside Act 1981. It is an offence to plant or cause this species to grow in the wild. Actions which cause the spread of Japanese Knotweed may constitute an offence.

The entire site should be checked for Japanese knotweed before any vegetation clearance or groundworks take place. This is to prevent the spread of this invasive species.

The stands of Japanese knotweed should be subject to eradication by a suitably qualified BASIS contractor. Until these areas have been signed off as being clear of this species, an exclusion zone should be set up to extend 7m from the furthest extent of this plant. No groundworks should occur in these areas until the contractor has signed them off as being clear of the plant. Additionally, the entire site should be resurveyed for this species and a control and eradication plan put in place. This is to avoid the spread of Japanese knotweed on the site.

4. The developer should consider the need for the provision of adequate water supplies on the site for firefighting purposes and access for emergency firefighting appliances. Should the developer require further information in relation to this matter, they should contact [firesafety@southwales-fire.gov.uk](mailto:firesafety@southwales-fire.gov.uk)
5. The applicant/developer should note that when preparing the details required by Condition No's 5 and 6 careful consideration should be given to site levels and

the consideration should be given to providing low level boundaries forward of property building lines and avoiding regular changes to the brickwork colour of frontage walls.

The adopted development plan for this area is the Blaenau Gwent Local Development Plan. This planning permission is issued having regard to policies in that LDP including policies DM1, DM2 & DM7.

Signed



Service Manager Development

Date: 12/04/2019

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IT IS IMPORTANT YOU READ THE NOTES ON THE REVERSE OF THIS NOTICE

Existing trees to be retained  
Boundary refer to schedule  
in site survey documents



Proposed new tree planting



Dead trees



Proposed new hedge planting



Proposed new hedge planting  
(shown at 0.5m intervals)

Existing existing  
(shown at 0.5m intervals)

Rock protection areas for existing tree

Existing post and wire fences  
protecting new tree planting

New post and wire fences

Footpath

Foul drains

Storm water drains

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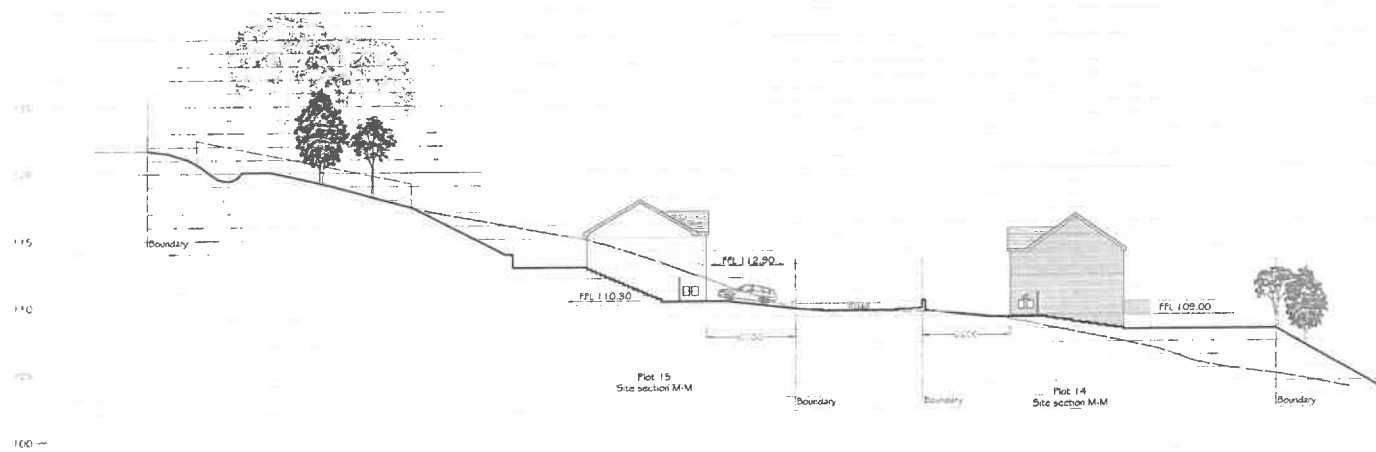
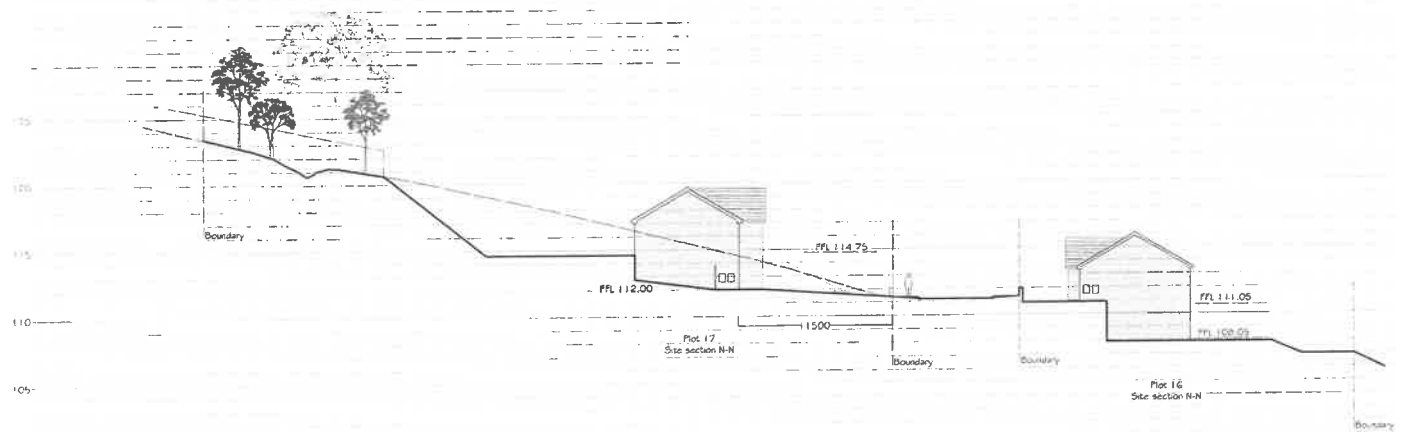
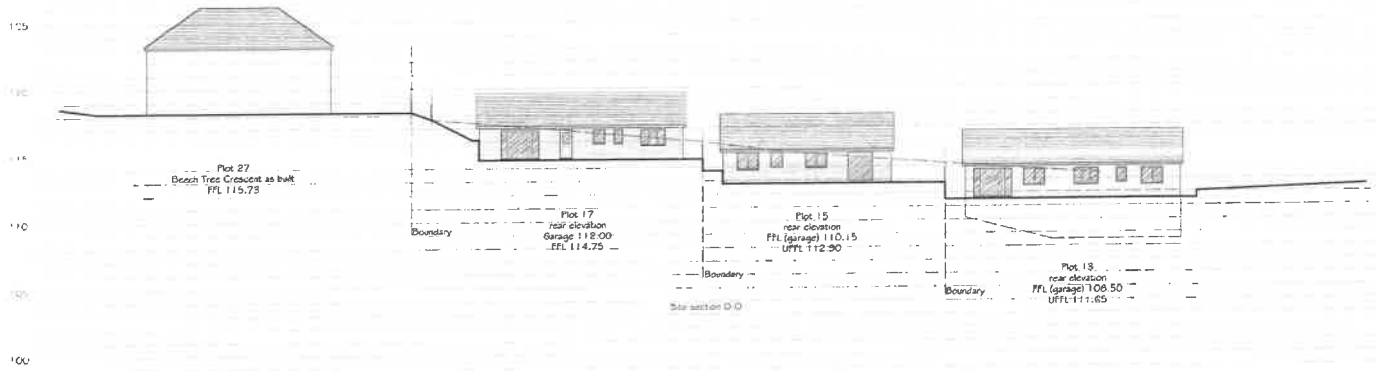
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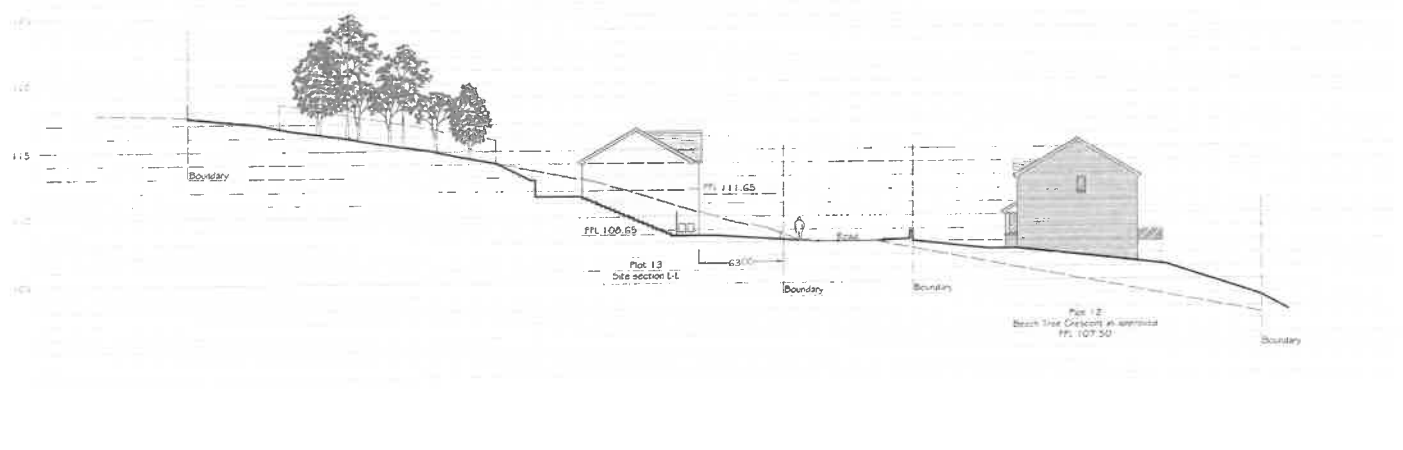
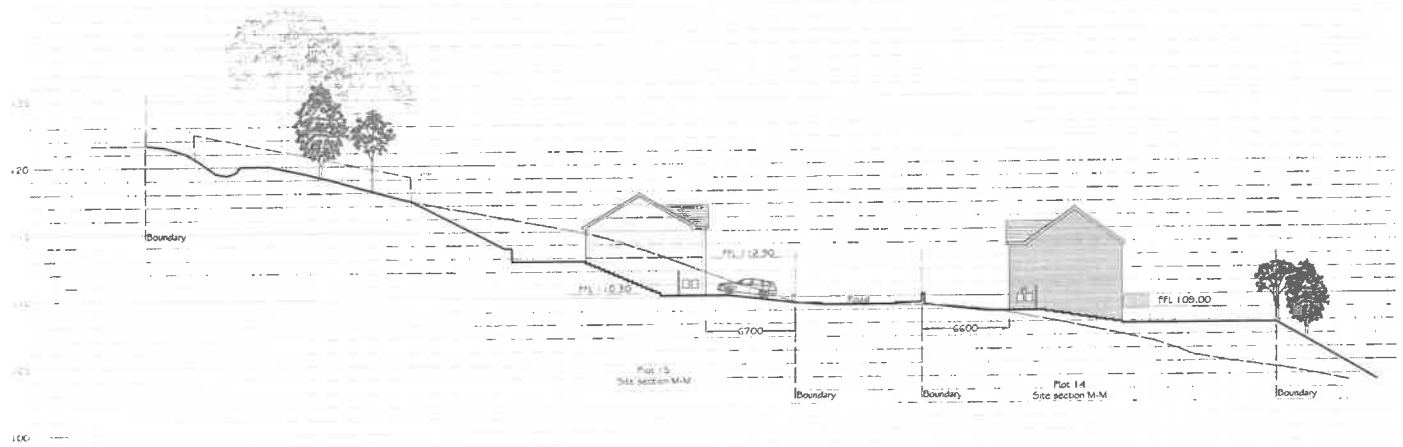
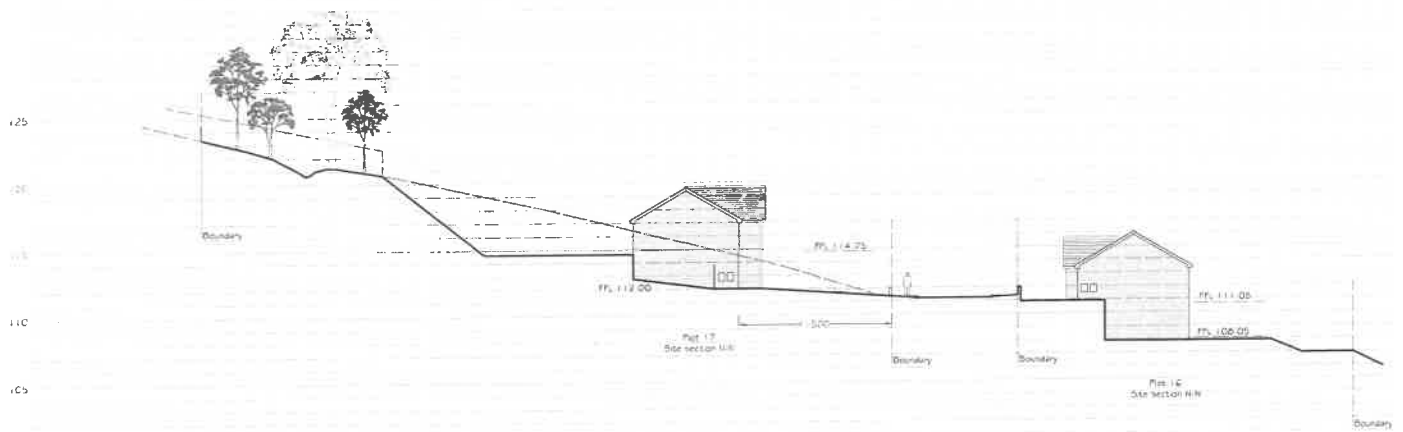
- Existing ground line
- Proposed ground line
- Tree protection zones

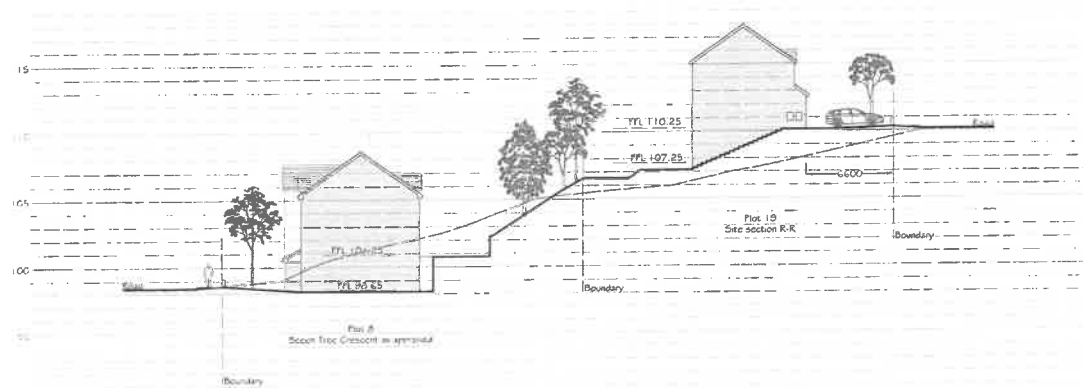


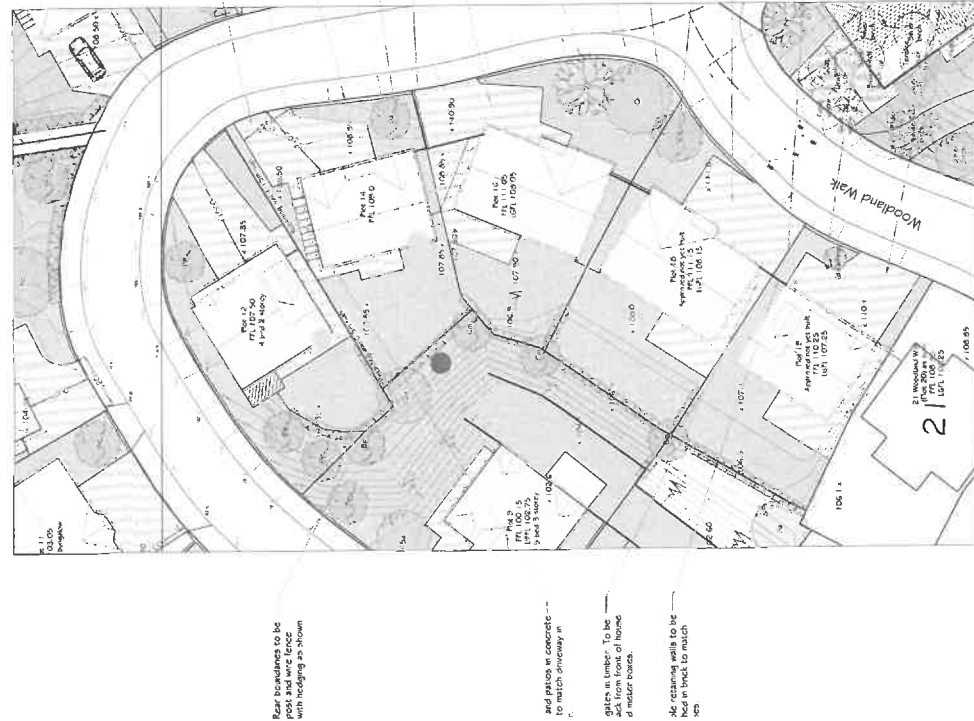


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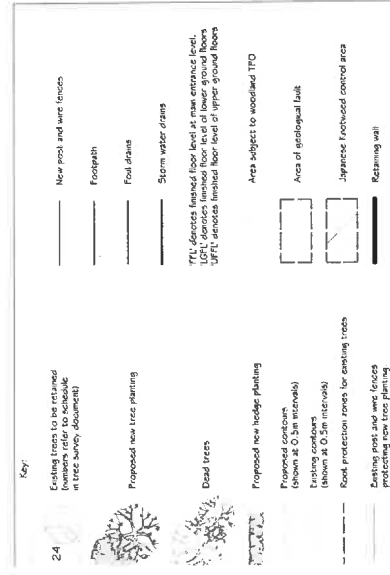
- Existing ground line
- Proposed ground line
- Tree protection zones







NB: To be read in conjunction with Landscaping planting scheme

[illegible]

Ref: RH/3370

Date: 22<sup>nd</sup> March 2019

**Verification of foundation design at Plots 13-17 Beech Tree Crescent and plots 18 and 19  
Woodland Walk  
Tanglewood, Blaina**

This report is a verification of the preliminary foundation design for 7 proposed new houses at Plots 13-17 Beech Tree Crescent and 18 and 19 Woodland Walk at the Tanglewood development site, Blaina produced by Mr Richard Hernon C.Eng., M.I.Struct.E.

**Introduction**

This report was prepared to accompany a new full planning application for 7 detached houses.

The proposed foundation designs for these plots are based on a series of geotechnical, environmental and mining reports that have been prepared at various stages of the Tanglewood development. This information is supplemented by twenty years of practical inspections of groundworks at the Tanglewood site by Mr Richard Hernon, feedback from groundworks contractors and piling specialists who have provided foundations and retaining structures throughout the development as well as environmental reports commissioned by individual plot developers. The site has also had topographical surveys carried out throughout all phases of the works and alterations in ground levels have been monitored and recorded. Reports referred to are listed below:

- Report No 7414/1275A – Mining investigation report carried out by Thyssen Construction Service Ltd. Dated May 1990.
- Report No BC/MB/06.04.02 Environmental report on land at Cwm-celyn, Blaina. Prepared by Blandford Consulting Geologists and Geological Engineers.
- Coal Mining Report provided by Coal Authority (appendix to Blandford report above) dated 23 June 2004.
- Radon Report for 2 Woodland Walk, Blaina. Dated 2<sup>nd</sup> July 2008.
- Radon Report for 19 Woodland Walk, Blaina. Dated 5<sup>th</sup> March 2009.
- Radon Report for 16 Beech Tree Crescent, Blaina. Dated 24<sup>th</sup> March 2010.
- Radon report for 17 Tanglewood Drive, Blaina. Dated 17<sup>th</sup> February 2012.

Part of the site is covered by a blanket woodland Tree Preservation Order (TPO BG 94). Tree protection areas have been noted and a scheme for physical protection on site has been prepared. All proposed groundworks and drainage have been designed to avoid disturbing the root protection areas.

## **Coal Mining risk assessment**

### **Location**

Tanglewood is located at approximately OS grid ref 320699E, 208330N at an elevation of 350m-380m above OS datum.

### **References**

Reference is being made to:

- Report No 7414/1275A – Mining investigation report carried out by Thyssen Construction Service Ltd. Dated May 1990.
- Report No BC/MB/06.04.02 Environmental report on land at Cwm-celyn, Blaina. Prepared by Blandford Consulting Geologists and Geological Engineers.
- Coal Mining Report provided by Coal Authority (appendix to Blandford report above) dated 23 June 2004.
- Radon Reports for individual plots at intervals across the site.
- The Geological Survey of Great Britain (England and Wales) sheet SO20NW at a scale of six inches to one mile.
- Drawing 3370-31 Site details showing proximity of fault line.

### **Geology**

The superficial deposits comprise a thin layer of gravelly clays varying in thickness from 2m to 11m IE head deposits.

These overlay alternating beds of sandstones and mudstones containing thin beds of coal and ironstone.

In 1990 Thyssen commissioned a series of boreholes drilled across the site to depths varying from 20m to 30m deep below ground surface level. These showed no signs of shallow coal mining nor any signs of iron stone extraction.

Borehole No8, though, encountered shattered rock which showed strong evidence that it had found the line of the Brynmawr Fault which also shows as surface features to the North and South of the site. Borehole No 8 is located on plot 41 so it can be assumed that the line of the fault has been located accurately in this area.

Two local collieries, the North Blaina Pit and the Beynon Colliery were sunk to extract coal from the underlying Lower Four Foot Seam (Big Vein). These encountered the seam at depths of 64m and 70m below surface level.

The generalised vertical section shown on the geological survey maps show the Big Vein is overlain by siltstones and mudstones intermixed with sandstones. This amount of rock cover above the workings provides sufficient protection from void migration to the surface.

**Current Situation**

There are no active coal extraction projects within influencing distance of the site.

The Coal Authority has issued a licence to extract coal from underground (not opencast), but any such activity would require planning approval.

**Stage 2**

There are no recorded mine entries influencing the site.

The depth of the coal seam below the site is sufficient to prevent the migration of any voids up to the surface.

**Stage 3**

Due to the presence of the Brynmawr Fault crossing the site, it has been recommended that reinforced concrete raft foundations are provided for any structure built within a precautionary zone 10m wide to either side of the line of the fault. This 20m wide linear zone through the site allows a tolerance for any deviation in the straightness of the fault line. Any proposed property within this zone or very close to this zone will be designed with a reinforced concrete raft foundation.

Referring to appendix drawing 3370-31 which shows the location of the precautionary build zone within the application site; Plots 13, 15 and 17 are situated on the natural ground at a minimum distance of 15.5m outside of the zone where ground had already been partly excavated to prepare the plot for development. It is my opinion that this is sufficiently far outside the precautionary zone to negate the requirement for a raft foundation. Plots 14, 16 and 18 lie within the precautionary build zone and the foundations will be reinforced concrete rafts. Plot 19 lies outside of the zone but close enough that I am recommending a reinforced concrete raft foundation is used in this case.

There are areas of infill ground on plots 14, 16, 18 and 19. The ground levels on the plots are currently made up to a depth of between 1-4 metres above the natural ground level, although it is noted that some of the soil is being stored temporarily in this location for use elsewhere on the site. The existing fill layer will be excavated to suitable bearing ground and the proposed ground level should be gradually made up in layers of suitable material not exceeding 200mm thick, stabilised and compacted using a suitable vibrating roller to prepare a suitably stable bed for the raft foundation.

**Radon Gas**

A sample of individual radon reports purchased by plot owners in various locations around the Tanglewood site indicates that the site lies within a 0-1% maximum radon potential risk area. This level of Radon risk requires no protection measures to be implemented.

**Conclusions**

The Tanglewood site is not in an area affected by either deep or shallow mining that would require the houses to use any special foundation measures.

No radon protection measures are required for these plots.

Plots 13, 15 and 17 are identified as natural ground with no areas of fill and outside of the precautionary build zone the foundation is designed using a stepped strip foundation so that less retaining structures will be required.

Plots 14, 16 and 18 are identified as being situated within or directly adjacent to the precautionary build zone. Plot 19 is directly adjacent to the precautionary build zone. These plots will be designed with reinforced concrete raft foundations.

From the excavation work that has been carried out on plots 13, 15 and 17 the ground has been provisionally assessed as suitable for conventional strip foundations. However practical experience of on-site groundworks at Tanglewood shows an unpredictable range of site conditions occurring across the site from hard bedrock to soft non-bearing soils. Should soft ground be encountered during excavation on the plot to a depth greater than would be recommended for strip foundation it is likely that the soft areas will need to be removed, backfilled with suitable fill material and a raft foundation would be need to be designed for the house instead.

I am, however, fully satisfied that, in my professional opinion, the foundations that are proposed for these properties will be fit for purpose in regard to the location of the precautionary build zone.



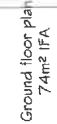
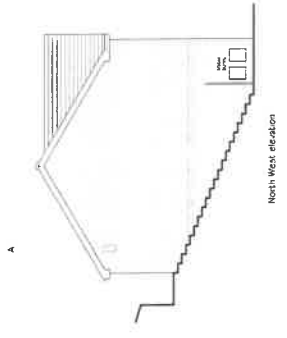
**Richard Hernon, C.Eng., M.I.Struct.E.**

22<sup>nd</sup> March 2019

**External materials:**

1. Walls in face brickwork (bestock autumn antique) with contrast brick detailing as shown.
2. Floors and soffits in UPVC to match windows.
3. Roof in Manley Riverside Bluebuck imitation slate tile @ 30°.
4. Windows and doors in attractive UPVC.
5. \* Kitemaster goods in attractive plastic.

A. Built in bird box to spec in ecology report.





Ground floor plan  
78m<sup>2</sup>

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DEVELOPMENT  
SOLUTIONS

**Tanglewood, Blaina**

**Construction  
Management Plan**

**November 2018**

## Contents

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2. Working Hours .....	4
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## 1. Site Establishment and Plan

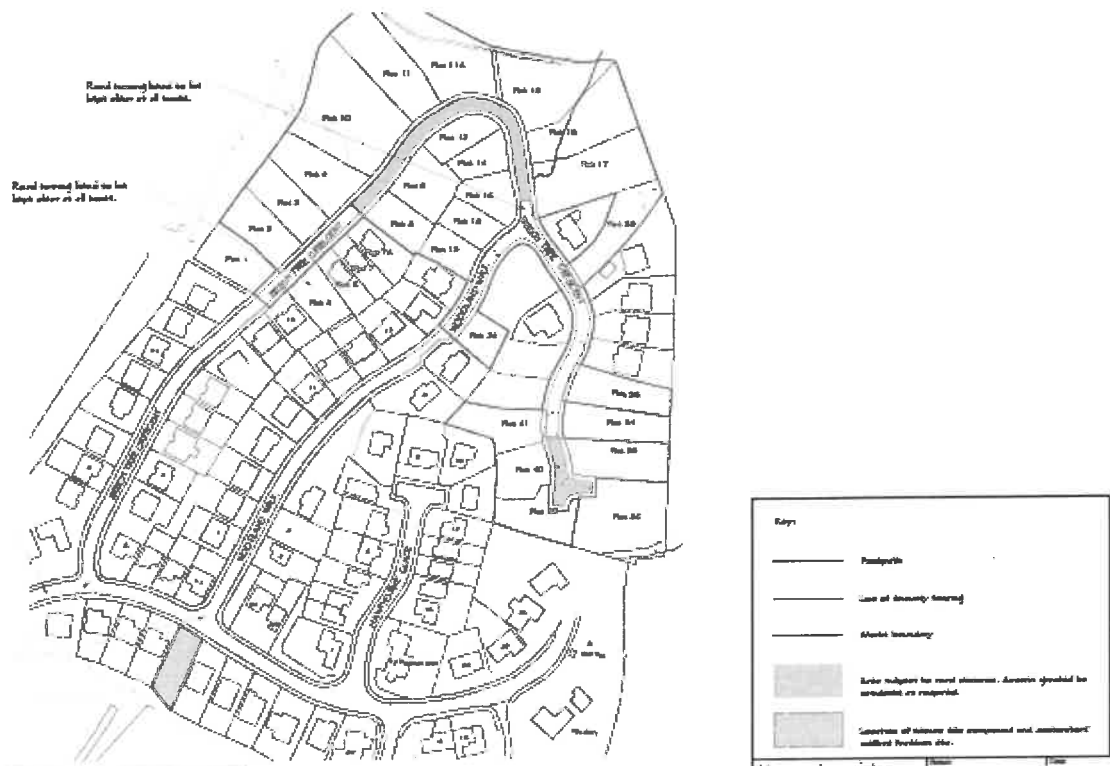
This Site establishment and Management Plan is a document detailing the potential environmental impacts of works at Tanglewood, Blaina and the ways that these impacts may be reduced by the implementation of best practice management strategies and practices which have been outlined below.

### Site Compound

Due to phased nature of the site works, the arrangements for site office and welfare will be established on the existing site compound of the site with any additional requirements being planned based on the nature of the works at that point in time.

The plots will have managed hoarding erected to prevent unauthorised access and maintain privacy for residents, any windows in the site setup facing residential properties will be sealed shut for the duration of the temporary establishment.

No vehicular access will be provided into the welfare compound this will solely be for the provision of site accommodation for site staff and operatives during the working day.



### **Temporary highways and pedestrian routing arrangements**

In recognition of the importance of maintaining clear and uninterrupted traffic flow for emergency services and other road users on the site, the contractor will monitor routes on site to ensure all existing and new residents have a safe and uninterrupted route to their properties at all times. A mutually acceptable solution including any such package of temporary highways works will be agreed. Any footpath closures will be covered by necessary road crossings being installed. At all times impact to road and footpath users will be minimised.

### **Security Fencing / site perimeters**

The footpaths will be managed based on the construction activity. The hoardings will be erected in accordance with standard Highways Authority requirements and regularly inspected and maintained, but also include any required signage and traffic management. The overall site boundary will also be fully hoarded in accordance with requirements and regularly inspected and maintained, which will not only provide security for the works but will also provide an effective barrier for noise and dust and maintain privacy.

### **Deliveries, loading, unloading and materials storage**

The Traffic Management Strategy for the project is one of minimising the interface wherever possible between Public and Site Traffic, and reducing the number of deliveries where practicable, including the staging of deliveries such that the volume of traffic is kept as even as possible avoiding peaks, and controlling vehicular movements on the project.

This plan recognises the importance of maintaining a free flow of traffic on the site;

- Delivery hours will be limited to working hours. This condition will form part of subcontract documentation and subcontractors and suppliers will be reminded of this at pre-start meetings and on official order documentation.
- Deliveries will be booked in with the site management team and logged on the delivery register, the register will be maintained and updated to ensure delivery allocation slots to avoid congestion and ensure vehicles can access the site without waiting.
- The gate/banksman will be in position half an hour before start of work and before the earliest delivery time
- Deliveries that arrive unannounced will be immediately diverted away from Site if causing nuisance and will be reported to the Project Manager, who will action immediately with the directors of the offending company

It is recognised that all deliveries are not notified to ourselves; such deliveries are usually smaller, deliveries by third parties and on occasion simply not booked in. Deliveries from overseas often have difficulty in providing accurate arrival times. The Project Manager will then manage the delivery situation with the priority to get the vehicle off the highway within the site. Other options open to the team are to send deliveries away (persistent offenders) or temporarily send deliveries to a lorry park with a return time. We reiterate that wagons will not be allowed to lay-up along the site roads.

Muck away Lorries and concrete delivery wagons will be booked in and will only occur early on in the Project when other deliveries are less numerous, muck Lorries and skip wagons will be sheeted prior to leaving site, the gateman / transport monitor will be responsible for ensuring this happens. It is envisaged that the majority of spoil will be retained on site.

The site does not practically support a wheel wash and on site wheel wash tanks have varying degrees of effectivity when site roads are exiting directly onto town centre streets, generally they allow dirty water to be tracked out onto the street causing vehicular hazards. As such we would propose to utilise a jet wash station at the site exit point (location subject to current works) and ensure that each decanting vehicle is inspected and cleaned as required and also deploy a road sweeper unit as required to ensure the surrounding streets are kept clean. The gateman will be responsible for continual management of the maintenance and cleanliness of the highway outside the site perimeter.

#### **HGV Movement and routing.**

HGV deliveries will be kept to a minimum, however routing of incoming and outgoing vehicles will need to be agreed and signage displayed accordingly to minimise the impact of these vehicle movements on the surrounding residents and streets.

The most appropriate route for most deliveries will be via the main arterial routes into Blaina.

This condition will form part of subcontract documentation and subcontractors and suppliers will be reminded of this at pre-start meetings and on official order documentation and vehicles will be directed further by the site gateman.

#### **Staff, operatives and visitors parking.**

The preferred main contractor will look to manage staff parking on site to minimise any nuisance to local residents.

These parking spaces will provide dedicated parking not only for the site based staff but also regular visiting management staff.

A number of these spaces will also be permanently retained for ad hoc site visitors and signed accordingly.

Site operatives and sub-contractors parking will be directed to this location and penalties incurred if persistent offenders use the existing residential road.

This condition will form part of subcontract documentation and subcontractors will be reminded of this at pre-start meetings and on official order documentation.

Our site management team will monitor parking in the immediate vicinity of the site and any contractors found to be parking inconsiderately in the local vicinity will be reminded of the site parking rules.

## 2. Working Hours

The site working hours will be restricted to the following hours:

Monday – Friday                      08:00hrs – 18:00hrs

Saturday                                08:00hrs – 13:00hrs

Sunday & Bank Holidays          No Working.

These hours will be strictly adhered to by the site management team who will ensure no activities take place outside of these hours.

No deliveries will be permitted outside of these hours.

### 3. Recycling and Site Waste

The preferred main contractor will compile and implement a compliant site waste management plan for the works.

This will consist of a plan that aims to reduce the generation of onsite waste by reviewing the building components design, the project manager will nominate a waste Champion who will seek to target construction methods and products that will assist in the overall reduction of waste generated from site activities.

He will identify what types of waste will be generated at each stage of the works and proactively seek opportunity for recycling where possible, where not he will source the most economic methods of waste reduction and or disposal aiming to reduce waste to landfill by utilising and specifying waste and recycling targets at the early stages of the project.

Responsible and certified waste handling contractors will be used to ensure any waste is correctly recycled or disposed of responsibly and legally and the appropriate records will be held on file.

The waste champion will set targets at the commencement of the construction works and will continually monitor performance against these targets.

At completion of the scheme the waste and recycling statistics will be reviewed and benchmarked to allow the company to measure performance against published statistics for waste minimisation and recycling.



## 4. Control of Pollution Events

### Noise

The preferred main contractor for the scheme will want to ensure that disturbance to the local neighbourhood resultant from any noise generated by the works is eradicated or minimised.

As such they will ensure that all Contractors and sub-contractors engaged on the project must have due regard to BS 5228-2:2009 "Code of Practice for Noise Control on Construction and Open Sites" and the Control of Pollution Act 1974.

They will actively seek working methods and innovative solutions that assist in reducing the generation of noise from their building activities

They will take a collaborative approach with local residents, businesses and local authorities by communicating our intentions well in advance of any noisy operations and before we start work.

Gaining and understanding for the neighbours lives and business operations and planning activities so that any noisy operations avoid noise sensitive times for neighbouring residential properties and businesses.

They will post newsletters and display updates with regards forthcoming activities, progress and information as well as giving project contact details and outlining their procedures and protocol for handling complaints.

As a considerate contractor they will take a considerate approach to residents and business premises that could be affected by the works.

They will ensure where practicable that they:

- Select working methods with due regard for minimising any noise generated by the activity
- Use solid hoarding at site perimeter to muffle any noise generated.
- service vehicles and maintain machinery regularly;
- fit noise-reducing devices such as silencers or baffles to generators, plant and machinery;
- carry out regular noise assessments;
- Source hire equipment and plant targeting the quietest alternatives;
- minimising the use of vehicle reversing alarms;
- turning off engines when they are not in use;
- checking that brakes are properly adjusted;
- using vehicle horns only in the case of emergency;

## Dust

The preferred main contractor for this scheme will ensure that any nuisance to the local neighbourhood resultant from any dust generated by the works is eradicated or minimised.

As such they will ensure that all Contractors and sub-contractors engaged on the sites must have due regard to The Control of Substances Hazardous to Health Regulations 2002 (COSHH) which cover activities which may expose workers to construction dust.

They will actively seek working methods and innovative solutions that assist in reducing the generation of dust from building activities.

Where unavoidable they will locate cutting operations away from neighbouring properties and erect dust screens as well as implementing dust control measures.

They will post newsletters and display updates with regards forthcoming activities, progress and information as well as giving project contact details and outlining our procedures and protocol for handling complaints.

As a considerate contractor they will take a considerate approach to residents and business premises that could be affected by dust generated by the works.

They will ensure where practicable that they:

- Erect solid barriers to site boundary to minimise dust blowing out into the neighbourhood.
- Plan the site layout so that machinery and dust causing activities will be located be located away from sensitive receptors.
- Identify a responsible person in charge – Dust monitor.
- They will temporarily surface the site access routes to ensure free drainage and the reduction of dust generation.
- Erect dust screens around dust generating activity.
- Minimise dust generating activities
- Use water as dust suppressant where applicable
- Enclose stockpiles or keep them securely sheeted
- All vehicles to switch off engines – no idling vehicles
- Effective vehicle cleaning and specific wheel-washing on leaving site, see above.
- All loads entering and leaving site to be covered
- No site runoff of water or mud – Highway monitor.
- All non-road mobile machinery (NRMM) to use ultra-low sulphur tax-exempt
- On-road vehicles to comply with the requirements of a possible future Low Emission Zone (LEZ) as a minimum
- Temporary haul road surfacing and effective cleaning of haul routes and appropriate speed

- location of site equipment including supply of water for damping
- Identify a dust monitor to manage and maintain air quality. This person will have knowledge of pollution control and vehicle emissions.
- Use agreed wet cleaning methods and mechanical road sweepers on all roads at least once a day or as required.

### **Vibration**

The control of vibration risk will be achieved by selecting working methodology and by using machinery and equipment which produces lower levels of vibration, by restricting the duration of exposure by job rotation, by maintaining equipment, by modifications to the working conditions which help prevent an adverse environment and by use of Personal Protective Equipment as identified within the relevant risk assessments.

All plant selected will be suitable to allow HAV levels to be within acceptable levels.

Activities that have the potential to cause vibration are piling operations, excavating and breaking out concrete, cutting and grinding.

The piling methodology and associated plant for the installation of sub-structure will be selected with due regard for the site conditions, surrounding neighbouring properties and with the aim of mitigating disturbance due to noise and vibration.

Health surveillance and awareness training will also be available to the workforce.

### **Light**

The restricted working hours will eradicate the need for external floodlighting in the early stages of the project meaning standing floodlighting around the open site should not be a requirement.

As the night draw in for winter there will be a requirement to illuminate the external and internal areas of the site to ensure safe access and egress.

The internal lighting will be contained mainly internally and will comprise of 110v fluorescent tube type fittings suspended from soffits, these will not generate light pollution outside of the new building fabric and will be turned off as the site closes.

The external materials storage, loading areas and access / egress routes will be required to be illuminated at times of darkness.

Every effort will be made to control artificial light escaping from the site by the fitting of diffusers / guards to any external floodlights and ensuring there is no light overspill into neighbouring properties. There will also be no light overspill into the river corridor or adjacent woodland areas for the protection of nocturnal wildlife

This will be monitored closely by the preferred main contractor site management team.

### **Odour**

It is not envisaged that the works will generate significant levels of odour at the site boundary that could be deemed hazardous or cause disturbance to neighbouring properties

There will be some internal activities that involve the generation of localised odour such as solvent smells from paints spraying although these will be minimal and contained.

A list of hazardous materials will be contained on site and can be viewed as required by appointment via the preferred main contractor

Anyone using other hazardous materials not on this list will be required to produce a COSHH Assessment and data sheet for review and sign off by Create before it is brought to site.

The preferred main contractor will ensure, as far as is reasonably practicable, that the use of solvent-based materials is minimised in favour of water-based products.

The preferred main contractor will not permit the burning of any waste material on site.

The preferred main contractor will understand that materials being burnt that could cause the emission of dark smoke for example from burning plastics, rubber and paints would be a contravention of the Clean Air Act 1993.

## 5. Work monitoring, communication and control

Once agreed The Management Plan will be made available on site to all trade package contractors.

The sub-Contractors will make the contents of the plan known to all relevant personnel in their own organisation and to sub-contractors and suppliers they may wish to use.

All updates to the controlled copy of the Management Plan will be communicated to sub-Contractors where relevant.

### Site Induction

The Preferred Main Contractors Project Manager will be responsible for inducting all personnel operating on the site.

Inductions must be recorded and kept in a site file. After induction, all personnel inducted will be asked to sign acknowledgement and understanding of the induction and their risk assessment and method statement.

Toolbox talks will be held as determined by changing site conditions. The Project/Site Manager will arrange talks and details of subjects and attendance to be kept in a site file.

A Health and Safety Information Board is to be displayed in the canteen area. It contains information on the evacuation plan, site risks, details on first aid and resuscitation, the health and safety law poster, etc.

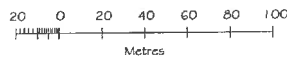
The preferred main contractor will post newsletters and display updates with regards forthcoming activities, progress and information as well as giving project contact details and outlining our procedures and protocol for handling complaints.

An up to date and accurate log of complaints from the public will be kept on site, any discussions, agreements or actions resultant from complaints will be documented and recorded.

# Ordnance Survey<sup>®</sup> Superplan Data<sup>®</sup>



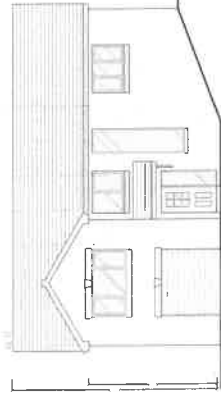
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without the prior permission of Ordnance Survey.



Key:

- External materials:  
1 - Walls in full brickwork (Biscuit, Windsor red nails) with cast stone  
2 - Roof as above  
3 - Windows and doors in white UPVC  
4 - Porcelain spade in colour to match windows  
5 - Paved and sloped in UPVC to slope to match windows

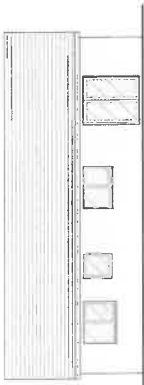
1 2 3 4 5



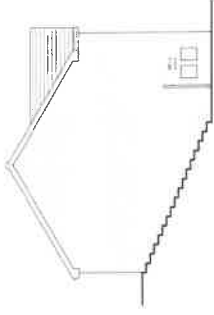
South west elevation (front)



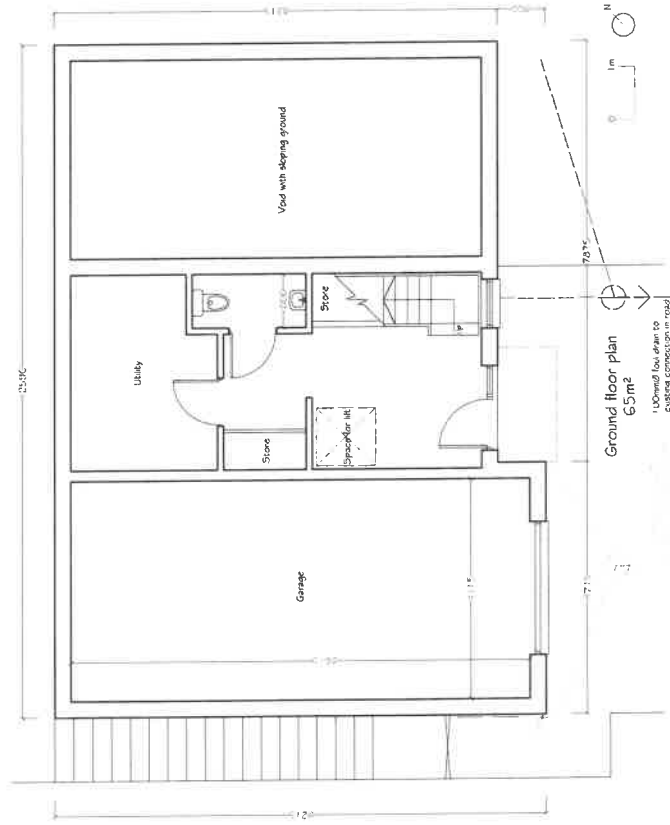
South east elevation



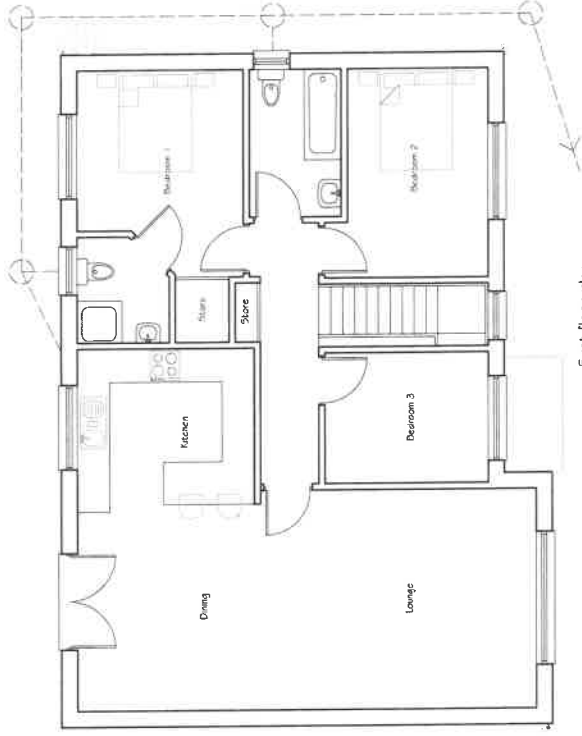
North east elevation (rear)



North west elevation

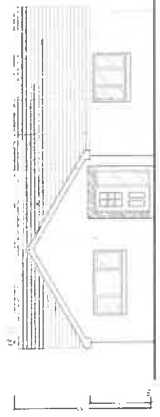


Ground floor plan  
65m<sup>2</sup>

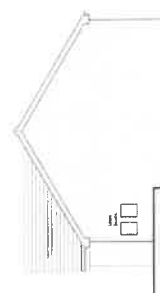


First floor plan  
96m<sup>2</sup>

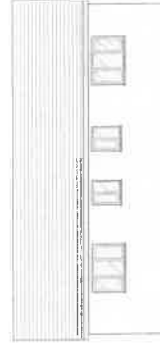
- External materials:
- 1 - Walls in face brickwork (firstcode handpainted (interior golden nipped) with setting in stone)
  - 2 - Rectangular Bushblock (masonry walls etc @ 30°)
  - 3 - Facets and spalls in UPVC in colour to match windows
  - 4 - Kunseler goods in colour to match windows
  - 5 - Windows and doors in white UPVC
- Garage materials to match house



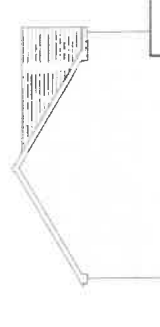
South east elevation (front)



North east elevation

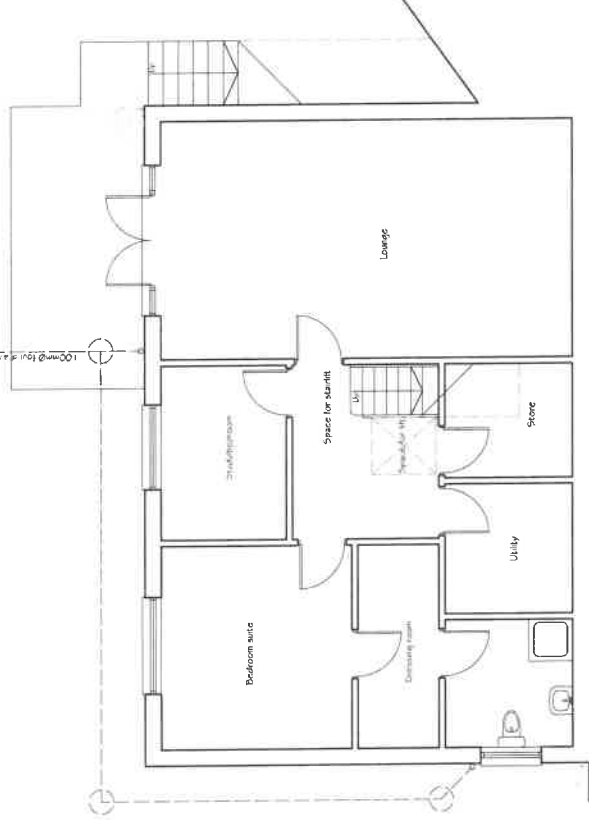


North west elevation (rear)

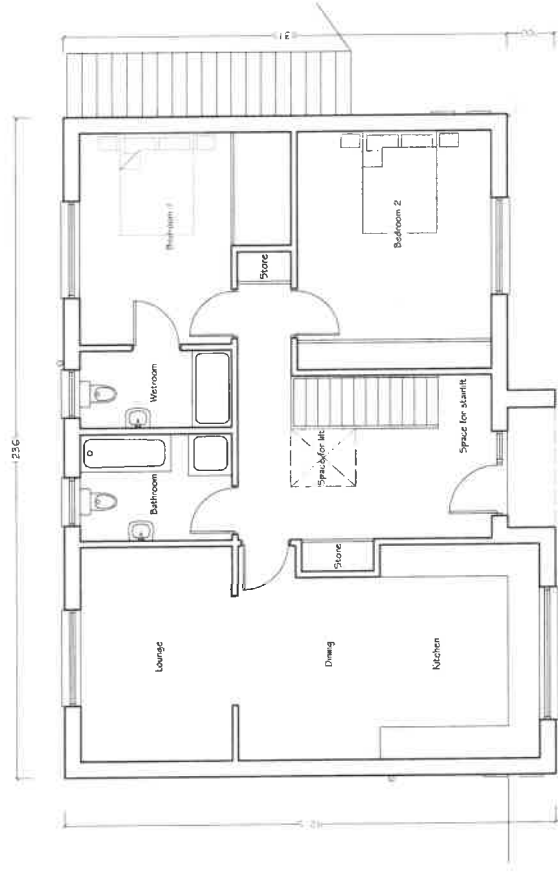


South west elevation

New 1 bedroom laid down to existing main's connection.



Lower ground floor plan  
90m<sup>2</sup>



Ground floor plan  
94m<sup>2</sup>

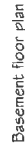
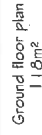


Drawn	10.03.2019	Project	Plot 16 Beech Tree Crescent Tanglewood Plans
Scale	1:50 (100 @ A1)	Client	Mayan Construction Ltd
Drawing No	S370-21	Drawing	As built





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291 69010

Status	<input type="checkbox"/>	Preliminary
	<input type="checkbox"/>	Pre-planning
	<input type="checkbox"/>	Planning (Outline)
	<input checked="" type="checkbox"/>	Planning (Reserved matters)
	<input type="checkbox"/>	Planning (Full)
	<input type="checkbox"/>	Building Regulations
	<input type="checkbox"/>	Tender issue
	<input type="checkbox"/>	As built

Project	Plot 17 Beech Tree Crescent Tanglewood Bluna
Client	Mayfair Construction Ltd
Drawing	As annotated





Item no. 4b



**Please quote : P/2024/0082**

Direct line : 01495 355821

**NANTYGLO & BLAINA**

**TOWN COUNCIL**

Dear Sir/Madam

**TOWN AND COUNTRY PLANNING ACT 1990**

**APPLICATION FOR PLANNING PERMISSION**

Application for Variation of Condition 11 (To extend life of permission) of planning permission C/2018/0357 (Erection of a single dwelling house and associated infrastructure)

Plot 10 Beech Tree Crescent, Tanglewood, Blaina, Blaenau Gwent,

I enclose for your information, a copy of the application form and site location plan in respect of a planning application for development. If you wish to request that the application is presented to Planning Committee, you must do so in writing specifying the specific aspects of the development that concern you. Please contact me if you wish to discuss the case further.

Yours sincerely

Joanne White  
Team Leader Development Management  
Email: [joanne.white@blaenau-gwent.gov.uk](mailto:joanne.white@blaenau-gwent.gov.uk)

**Blaenau Gwent CBC Planning Control / Rhoeli Cynllunio CBS Blaenau Gwent**

**General Offices**  
 Steelworks Road  
 Tyllwyn, Ebbw Vale, NP23 6AA.  
 Tel: 01495 355555 Fax: 01495 355598  
 Email: [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)

**Swyddfeydd Cyffredinol**  
 Heol Gwaith Dur  
 Tŷ Llwyn, Glyn Ebwy, NP23 6AA.  
 Ffon: 01495 355555 Ffacs: 01495 355598  
 E-bost: [planning@blaenau-gwent.gov.uk](mailto:planning@blaenau-gwent.gov.uk)



[www.blaenau-gwent.gov.uk](http://www.blaenau-gwent.gov.uk)

## Application for Removal or Variation of a Condition following Grant of Planning Permission

### Town and Country Planning Act 1990; Planning (Listed Buildings and Conservation Areas) Act 1990

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

#### Site Details

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

10

Suffix

Property Name

Plot 10

Address Line 1

Beech Tree Crescent

Address Line 2

Tanglewood

Town/city

Blaina

Postcode

#### Description of site location (must be completed if postcode is not known)

Easting (x)

320801

Northing (y)

208495

Description

Plot 10 Beech Tree Crescent

#### Applicant Details

## Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

## Contact Details

Primary number

Secondary number

Email address

Name/Company

Title

Mr

First name

Leo

Surname

Horton-Taylor

Company Name

Stantec

Address

Address line 1

Stantec

Address line 2

Studio 117 The Creative Quarter

Address line 3

8a Morgan Arcade

Town/City

Cardiff

Country

United Kingdom

Postcode

CF10 1AF

Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

Erection of a single dwelling house and associated infrastructure at Plot 10 Beech Tree Crescent, Tanglewood, Blaina

Reference number

C/2018/0357

Date of decision (date must be pre-application submission)

12/04/2019

**Please state the condition number(s) to which this application relates**

Condition number(s)

11 - The development shall begin not later than five years from the date of this decision notice

Has the development already started?

☐ Yes

☒ No

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## Condition(s) - Removal

Please state why you wish the condition(s) to be removed or changed

To extend the consent for a further five years to allow the development to be built.

If you wish the existing condition to be changed, please state how you wish the condition to be varied

Work will begin on site no later than five years from the date of this permission.

The wording of the condition would remain the same, but would apply to the new S73 consent.

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## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes

☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent

☐ The applicant

☐ Other person

---

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## Pre-application Advice

Has pre-application advice been sought from the local planning authority about this application?

☐ Yes

☒ No

Ownership Certificates

Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Please answer the following questions to determine which Certificate of Ownership you need to complete: A,B,C or D.

Are you the sole owner of ALL the land?

- ☒ Yes
- ☐ No

Certificate of Ownership - Certificate A

I certify/the applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least seven years left to run) of any part of the land or building to which the application relates.

Person Role

- ☐ The Applicant
- ☒ The Agent

Title

Mr

First Name

Leo

Surname

Horton-Taylor

Declaration Date

13/03/2024

☒ Declaration made

Agricultural Holding Certificate

Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Agricultural land declaration - you must select either A or B

- ☒ (A) None of the land to which the application relates is, or is part of an agricultural holding
- ☐ (B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below

Person Role

- ☐ The Applicant
- ☒ The Agent

Title

Mr

First Name

Leo



Horton-Taylor

Declaration Date

06/03/2024

☒ Declaration made

---

## Declaration

I/We hereby apply for Removal/Variation of a condition as described in the questions answered, details provided, and the accompanying plans/drawings and additional information.

I/We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

I/We also accept that:

- Once submitted, this information will be made available to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website;
- Our system will automatically generate and send you emails in regard to the submission of this application.

☒ I / We agree to the outlined declaration

Signed

Leo Horton-Taylor

Date

11/04/2024



Stantec UK Limited  
Studio 117, The Creative Quarter, 8a Morgan Arcade  
Cardiff  
CF10 1AF  
UNITED KINGDOM

10<sup>th</sup> April 2024

Project/File: Tanglewood 333100994

**Sophie Godfrey**  
Development Management  
Blaenau Gwent County Borough Council  
The General Offices,  
Steelworks Road,  
Ebbw Vale,  
NP23 6DN

Dear Sophie Godfrey,

**SECTION 73 APPLICATION TO VARY CONITION 11 OF FULL PLANNING PERMISSION REF. C/2018/0357 FOR THE ERECTION OF A SINGLE DWELLING HOUSE AND ASSOCIATED INFRASTRUCTURE AT PLOT 10 BEECH TREE CRESCENT, TANGLEWOOD, BLAINA.**

On behalf of our client, Allsop LLP, we have been instructed to make an application under Section 73 of the Town and Country Planning Act 1990 to vary Condition 11 on full planning permission (C/2018/0357) to extend the period for the implementation of the consent by a further five years.

As you are aware, the application site has an extant full planning permission, which was granted on 12<sup>th</sup> April 2019. Condition 11 of the permission states that:

*"The development shall begin not later than five years from the date of this decision notice"*

The applicant is in discussions with a view to implementing the existing planning permission, although these discussions will not be concluded in time to begin development before the deadline of the 12<sup>th</sup> April 2024. This Section 73 Application therefore seeks to extend the period for implementation by a further five years (i.e. until 12<sup>th</sup> April 2029).

It is of note that the adjacent permission has been extended under S73 application ref. C/2023/0011 for Plots 2, 3, 4, 8, 9, 10, 11, 11A & 12 Beech Tree Crescent, Tanglewood, Blaina.

There has been no material change of circumstances following the grant of planning consent in April 2019. The relevant LDP is still the Blaenau Gwent Local Development Plan (adopted November 2012). The updates to PPW (Edition 12) since the approval was granted have meant that updates to the Ecology reports have been updated to align with the principle of Net Benefit for Biodiversity.

The site falls within the defined settlement boundary of the adopted LDP and has been identified as a committed housing site under Policy HC1 Housing Commitments – HC1.27 Cwm Farm, Blaina. The allocation of site for new homes therefore firmly establishes the principle of new development at this location.

**Flooding**

Reference: 333100994

- Tanglewood Blaina PEA Report v3
- Tanglewood Reptile Survey Report V2
- Landscape Plan Plot 10
- Landscaping Spec Planting Plan Plot 10
- Decision Notice ref: C/2018/0357

The Application fee of £230 has been paid under separate cover.

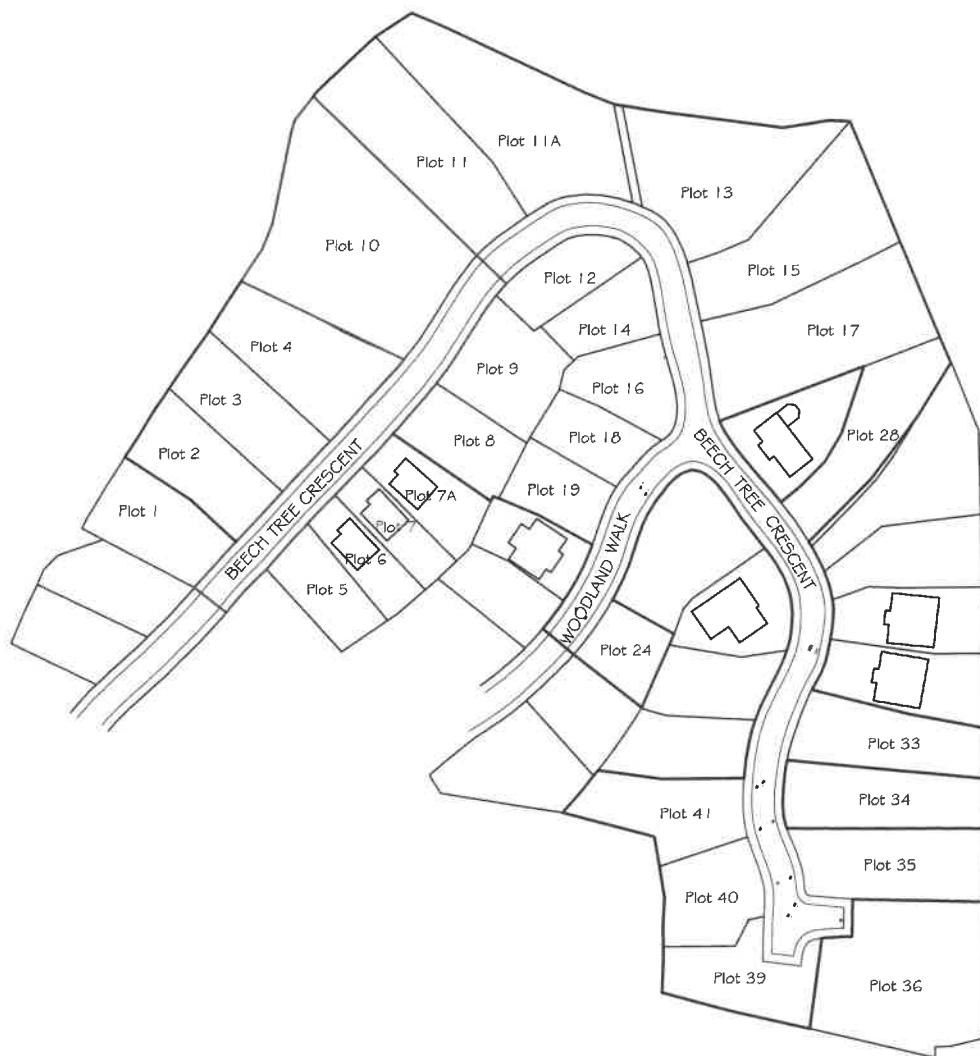
I trust that the above and enclosed is sufficient to validate the application and I look forward to your confirmation of receipt in due course. However, if you require any additional information, please let me know.

Sincerely,

STANTEC UK LIMITED

*Leo Horton-Taylor*

Leo Horton-Taylor  
Planner  
Phone: +44 2922 947781  
[leo.horton-taylor@stantec.com](mailto:leo.horton-taylor@stantec.com)



Hernon Associates  
The Old Shop  
Kingcoed  
Jsk  
Monmouthshire  
NP15 1DS

01291 690010  
iz@hernonassociates.co.uk

<b>Status:</b> <input type="checkbox"/> Preliminary <input type="checkbox"/> Pre-planning <input type="checkbox"/> Planning (Outline) <input type="checkbox"/> Planning (Reserved matters) <input checked="" type="checkbox"/> Planning (Full) <input type="checkbox"/> Building Regulations <input type="checkbox"/> Tender issue <input type="checkbox"/> As built  <input type="checkbox"/> PROVISIONAL	<b>Date:</b>	15.11.2018	<b>Project:</b> New houses (Phase VI) Tanglewood Blaina  <b>Client:</b> Mayfair Construction Ltd  <b>Drawing:</b> Location plan Plot 10
	<b>Scale:</b>	1:1250 @ A3	
	<b>Drawing No:</b>	3370-01	
	<b>Revision:</b>		



PLANTING MIX - refer to separate planting schedule

Tree Area A: New planting on newly graded ground  
 Tree Area B: Existing wild area to be retained  
 Tree Area C: Existing tree planting to be thinned to

Refer to individual plot drawings for hard landscaping.

24 Existing trees to be retained (numbers refer to schedule in tree survey document).  
Mackley Daines Assoc Aug 2016

Proposed new tree planting. Where initials are noted [E.g.] refer to Landscaping plan document for specific species and sizes.



Proposed new hedge planting:

### Proposed contours

Existing contours  
(shown at 0.5m intervals)

Root protection zones for existing trees

Existing post and wire fences protecting new tree planting

---

NEW POST AND WIRE FENCES

footpath

Poul drainage

---

Storm water drains

1. 'LFL' denotes finished floor level at main entrance level.

Area subject to woodland TPO

Area of geological fault

183

Retaining wall

Ecological mitigation schedule: • refer to separate PEA and Reptile reports.

Plot 2: Bird box, North east elevation.

Plot 3: Bat box. South west elevation.  
Plot 4: Bird box. North east elevation.  
Plot 5: Blue bench built into South facing wall.

Plot 9: Reptile hibernaculum where almost all thick bills were absent.

Plot 11: Hedgehog habitat pile where shown.

Reptile hibernaculum where shown.  
Plot 11A: Bird box, North east elevation.

Plot 12: Bee brick built into South-facing wall  
Bat box. South west elevation.

But boy,

 Bird box

Medication history note

Bee brick



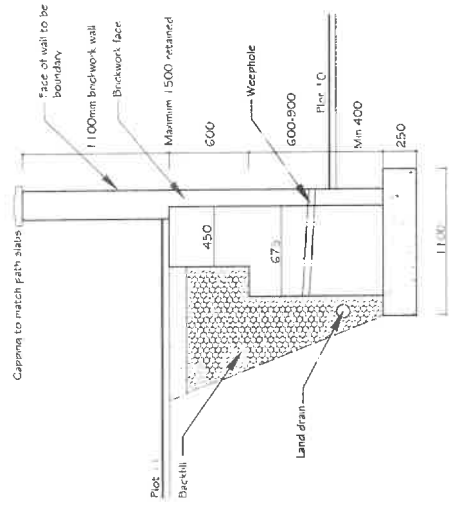
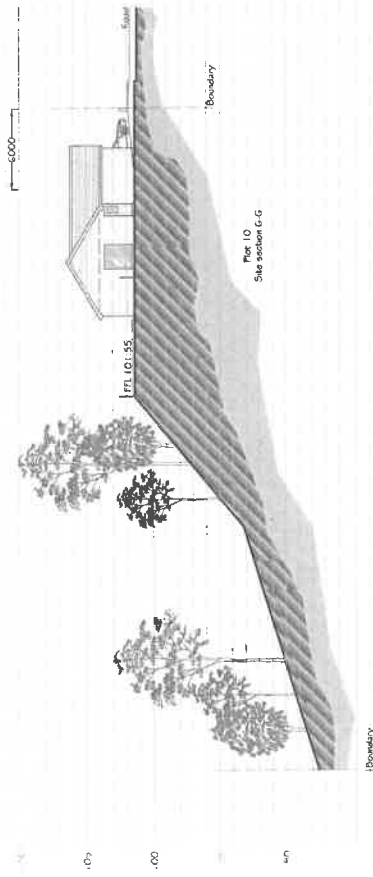
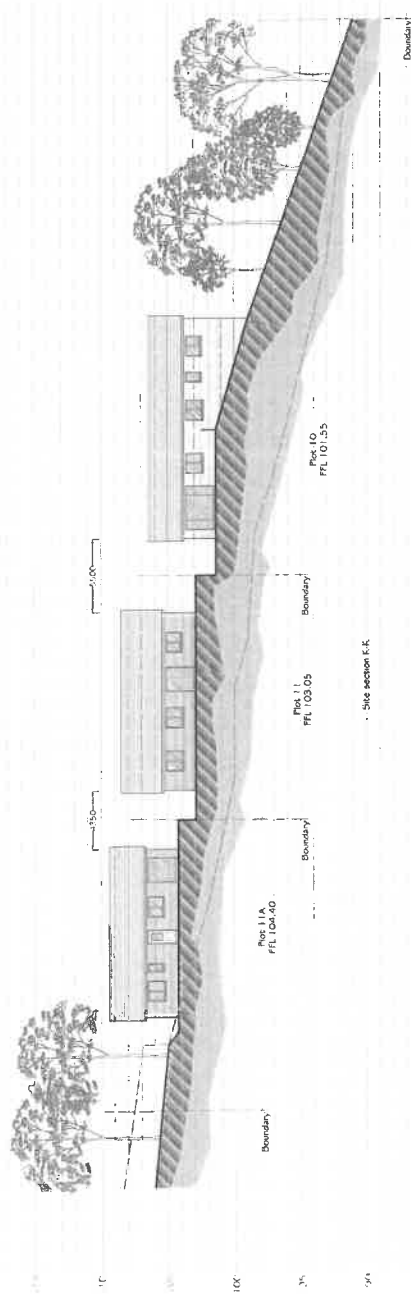


Ground floor plan  
168m<sup>2</sup> external footprint

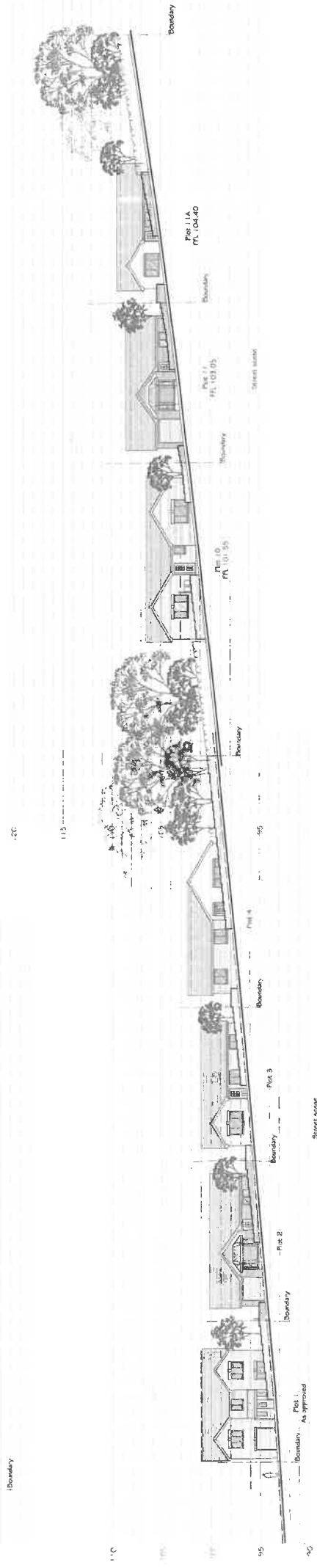
Ernst & Young Associates  
a Old Chapin

15 1DS

291 590010



Retaining wall dividing plots 10 & 11











Blaenau Gwent County Borough Council

**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

Town and Country Planning Act 1990 *(as amended)*

Town and Country Planning (Development Management Procedure) (Wales) Order 2012 *(as amended)*

**FULL PLANNING PERMISSION FOR DEVELOPMENT**

To  
Mr S Prior  
Mayfair Construction Limited  
C/o Powells Chartered Surveyors  
Singleton Court Business Park  
Monmouth

**In pursuance of its powers under the above mentioned Act & Order, Blaenau Gwent County Borough Council ("the Council") as Local Planning Authority hereby permits:-**

Erection of a single dwelling house and associated infrastructure at Plot 10 Beech Tree Crescent, Tanglewood, Blaina

**in accordance with the application submitted to the Council subject to the conditions specified under:-**

1. The development shall be completed in full accordance with the following approved plans and documents
  - Location Plan, Plot 10 Drwg No. 3370-01 stamped received 6th December 2018.
  - Revised as Proposed Drwg No 3370-06 Rev A received 27th March 2019
  - Revised Plot 10 Site Sections, Drwg no. 3370 -07 Rev B, stamped received 27th March 2019;
  - Building Materials e-mail dated 22nd March 2019 from [stuart.leaver@powellsrural.co.uk](mailto:stuart.leaver@powellsrural.co.uk)
  - Verification of foundation design at Plot 10 Beech Tree Crescent Tanglewood Phase IV Blaina HERNON Associates, dated 22nd March 2019 received on 27th March 2019
  - Site Constraints Plan Drwg No 3370-44 received 27th March 2019
  - Extended Phase 1 Habitat Survey, November 2015, stamped received 06/12/2018;
  - Reptile Survey Report, November 2015, stamped received 16/12/2018;
  - BE Ecological Technical Note, dated 21st November 2018 received 6th December 2018
  - Tree Survey Arboricultural Impact Assessment and Method Statement by Mackley Davies Associates, August 2016, stamped received 6th December 2018;unless otherwise specified or required by conditions 2 - 9 listed below.
2. No work shall commence on site until all tree protection measures identified in the submitted Tree Survey (Mackley Davies Associates, August 2016) are implemented. Such protection measure works shall be overseen by a qualified arborist undertaken in accordance with an approved arboricultural watching brief. Details of the arborist and a watching brief shall be submitted in writing for approval for approval to the Local Planning

Authority at least five working days before works commence on site. The approved protection measures shall be maintained during the course of development and retained until all works are completed and materials are removed from site (or an alternative timescale otherwise agreed by the Local Planning Authority).

3. Notwithstanding the details indicated on the approved plans no development shall commence on site (other than for ground profiling and intrusive site investigation works) until details are submitted to and approved by the Local Planning Authority of a scheme for the comprehensive and integrated drainage of the site showing how foul water, surface water and land drainage will be dealt with. The dwelling hereby approved shall not be occupied until all drainage works relating to this plot and its connection to the wider drainage network are completed in accordance with the approved details.
4. No development shall commence on site until a Construction Method Statement has been submitted to and approved in writing by The Local Planning Authority. The Statement shall provide details of :-
  - hours of working;
  - the parking of vehicles of site operatives and visitors;
  - delivery of materials.
  - wheel washing facilities;
  - storage of plant and materials used during construction;
  - the erection and maintenance of security hoarding ;
  - measures to control the emissions of dust and dirt during construction;
  - a scheme for the recycling/disposing of waste resulting from the construction works; and
  - the siting and details of any construction compound.Such details and measures as contained in a Statement that is approved in writing by the Local Planning Authority shall be adhered to throughout the construction period.
5. No works in relation to the proposed retaining wall on the boundary between plot 10 and 11 shall commence until details of the finishing details for that wall are submitted to and approved in writing by the Local Planning Authority. The said wall shall be constructed and finished as per the approved details before the dwelling hereby approved is occupied.
6. No retaining walls or structures (other than those indicated on the approved plan) shall be constructed on the site until details of their position, height and finishes are submitted and approved by the Local Planning Authority. Details of any structures which are required to retain in excess 1.5 metres must also be accompanied by supporting calculations or a certificate signed by a suitably qualified engineer that shall verify the structural integrity of such works. All works implemented shall be completed in full accordance with such details and specifications as may be approved in writing by the Local Planning Authority.
7. The dwelling hereby approved shall not be occupied until all external elevations are constructed and/or finished in full accordance with the details indicated on the approved plans and the specifications confirmed in the e-mail from [stuart.leaver@powellsrural.co.uk](mailto:stuart.leaver@powellsrural.co.uk) at 16:20 on 22nd March 2019.
8. The dwelling hereby approved shall not be occupied until the access, driveway and parking areas indicated are constructed, surfaced and drained as indicated on the approved plans and the e-mail from [stuart.leaver@powellsrural.co.uk](mailto:stuart.leaver@powellsrural.co.uk) at 17:15 on 2nd April 2019. The garage and parking areas approved shall be retained for parking purposes at all times.

9. The dwelling hereby approved shall not be occupied until the road and footways fronting and/or serving the property from the public highway has been laid out and constructed to a minimum of binder course level, and any street lighting to be provided has been erected and energised in accordance with details to be submitted to and approved in writing by the Local Planning Authority.
10. Notwithstanding any details indicated on As Proposed Drwg No 3370 -06 no works beyond the laying of the floor slab shall be undertaken until a details landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority. The submitted scheme shall include :-
  - a) details of ground preparation, planting plans, number and details of species;
  - b) maintenance proposals for a minimum period of 5 years; and
  - c) details of the implementation timescales
11. The development shall begin not later than five years from the date of this decision notice.

**The reasons for attaching the above conditions are:-**

1. To clearly define the scope of this permission.
2. To ensure that the protected and retained trees on the site are suitably safeguarded during the construction stage of the development.
3. To ensure that effective drainage facilities are provided for the proposed development and that no adverse impact occurs to the environment or the existing public sewerage system.
4. To safeguard local amenity interests and to ensure that the impacts of the construction phase of the development are appropriately and adequately addressed.
5. To safeguard visual amenity interests.
6. To safeguard the integrity of any retaining works required in association with the approved development and to safeguard visual amenity interests.
7. To safeguard the visual amenities of the area.
8. To ensure the parking needs of the development are adequately met and to safeguard highway interests.
9. To ensure suitable vehicular and pedestrian access to the site and to safeguard highways safety.
10. To ensure submission of an appropriate landscaping scheme and to secure a development that makes a positive contribution to the landscape and visual amenities of the area.
11. To comply with the requirements of Section 91 of The Town and Country Planning Act 1990.

**Informative Advice**

1. The proposed development lies within a coal mining area which may contain unrecorded mining related hazards. If any coal mining features are unexpectedly encountered during development, these should be reported immediately to The Coal Authority on 0345 762 6848. Further information is available on The Coal Authority website at: [www.gov.uk/government/organisations/the-coal-authority](http://www.gov.uk/government/organisations/the-coal-authority)

2. The applicant is reminded that Badgers and their setts are fully protected under the Protection of Badgers Act 1992 and are listed under Schedule 6 of the Wildlife and Countryside Act 1981 (as amended). A check for badger activity on the site should be undertaken by a suitably experienced ecologist to ensure no new setts have been created before development starts. Should any setts be discovered the applicant is advised to contact the Council Ecologist for further guidance.
3. The applicant is reminded that Badgers and their setts are fully protected under the Protection of Badgers Act 1992 and are listed under Schedule 6 of the Wildlife and Countryside Act 1981 (as amended). A check for badger activity on the site should be undertaken by a suitably experienced ecologist to ensure no new setts have been created before development starts. Should any setts be discovered the applicant is advised to contact the Council Ecologist for further guidance.
4. The developer should consider the need for the provision of adequate water supplies on the site for firefighting purposes and access for emergency firefighting appliances. Should the developer require further information in relation to this matter, they should contact [firesafety@southwales-fire.gov.uk](mailto:firesafety@southwales-fire.gov.uk)

The adopted development plan for this area is the Blaenau Gwent Local Development Plan. This planning permission is issued having regard to policies in that LDP including policies DM1 & DM2

Signed



Service Manager Development

Date: 12/04/2019

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IT IS IMPORTANT YOU READ THE NOTES ON THE REVERSE OF THIS NOTICE