

NANTYGLO & BLAINA TOWN COUNCIL CYNGOR TREF NANT-Y-GLO A BLAENAU

Mrs T Hughes - Town Clerk/RFO

Council Offices, Blaina Institute, High Street, Blaina NP13 3BN
Swyddfa'r Cyngor, Sefydliad Blaenau, Y Stryd Fawr, Blaenau NP13 3BN

Tel: 01495 292817 E-mail: clerk@nantygloandblainatc.co.uk

Dear Member,

You are summoned to attend a hybrid meeting of the Highways and Planning Committee at Town Council Chamber, Blaina Institute, High Street, Blaina. to be held **on Tuesday 9th July 2024 at 6pm.**

If any Council Member or member of the public wishes to attend the meeting remotely, please contact the Town Clerk at the above e-mail or phone by 3pm on 9th July 2024 for details of how to access the meeting.

Yours sincerely



Town Clerk

AGENDA

A meeting to which members of the public are entitled to attend.

Declaration of Interest

Members are invited to declare matters of interest either at the beginning or at any time during the proceedings. Members are reminded that all declarations of interest must be recorded in the book provided.

1. Apologies for absence:

Members are invited to consider the apologies for absence and to formally resolve to accept.

2. Questions from the public:

To receive any questions from the public regarding matters on the agenda. There is a 10-minute allocation time for any questions from the public.

3. Correspondence:

Members are invited to consider the listed correspondence, plus with the Chair's permission, any urgent information that may well be received prior to the date of the meeting.

- a) Email from PSCSNWT@gov.wales (*Feedback on 20mph in local authority roads*)
Listening Programme on 20mph (Subject to be discussed following previous Planning & Highways Committee)

- b) Email from Stategy@beacons-npa.gov.uk (*The Town and County Planning (Local Development Plan) (Wales) Regulations 1005 Regulations 26 Withdrawal of an LDP. (Copy attached)*)
As of 7th June 2024, (Brecon Beacons), National Park Authority withdrew the first Replacement Brecon Beacons National Park Local Development Plan (20218 – 2033)

4. Planning Applications:

Members are invited to consider the applications listed below and, with the permission of the Chair, any further applications that may be received prior to the date of the meeting:

- a) Plan Application No. P/2024/0165 – 11 Lakeside Avenue, Nantyglo, Brynmawr, NP23 4EE:
Application for Proposed single storey extension, home office/garden store. (*copy attached*).

5. Licence Applications:

Members are invited to note the application(s) **for information only:**

No Licence applications received to date.



Eich cyf/Your ref
Ein cyf/Our ref KSNWT/20mph

Item 3a

To: Town and Community Councils

Cc: Cabinet Secretary for Housing, Local Government & Planning

05 June 2024

Dear Colleagues,

I am writing to encourage you to get involved in our listening programme on 20mph. This has been a really challenging period for transport in Wales and I recognise that councils have been at the frontline through some incredibly turbulent times.

As we have always acknowledged with a change of this scale, we were not going to get the speed limits on all restricted roads right from the start. We now want to support all highway authorities to get the right speed on the right roads and achieve more consistency across Wales on which roads should have a 30mph limit.

Against that backdrop, it is not surprising that some colleagues are cautious about reigniting the debate on 20mph at a time when it was beginning to calm down in some parts of Wales. I absolutely recognise those concerns and genuinely welcome that constructive criticism and challenge.

I want to build from the consensus that 20mph is right around schools, hospitals and in built up residential areas. Through partnership working and by supporting highway authorities to make changes where it is right to do so, I believe we can absolutely make 20mph a success story for Wales.

However, we cannot escape the fact that 20mph has served to polarise the people and communities we serve. Against that background, I felt we should take a step back and listen to the views of everyone involved. I take full responsibility for that reset, and it is not a reflection on highway authorities who have worked so hard on the implementation of this policy over the past two years and more.

To support the National Listening Programme I have instigated, we have published a webpage to help signpost people towards the relevant highway authority where they want to feedback on specific speed limits. Your local knowledge and community engagement make you key partners in this process.

Canolfan Cyswllt Cyntaf / First Point of Contact Centre:
0300 0604400

Bae Caerdydd • Cardiff Bay
Caerdydd • Cardiff
CF99 1SN

Gohebiaeth.Ken.Skates@llyw.cymru
Correspondence.Ken.Skates@gov.wales

Rydym yn croesawu derbyn gohebiaeth yn Gymraeg. Byddwn yn ateb gohebiaeth a dderbynnir yn Gymraeg yn Gymraeg ac ni fydd gohebu yn Gymraeg yn arwain at oedi.

We welcome receiving correspondence in Welsh. Any correspondence received in Welsh will be answered in Welsh and corresponding in Welsh will not lead to a delay in responding.

I encourage you to contact your local council, or the Welsh Government for trunk roads, about any roads or streets in your communities where you feel the speed limit has not been correctly applied. You can view a map of all Welsh trunk roads on [DataMapWales](#).

We want you to let your highway authority know if you think a specific road should:

- change from 20mph to 30mph
- change from 30mph to 20mph
- stay at 20mph

When giving feedback please:

- be clear and precise about which section of road you are talking about
- give reasons for your views

In my discussions so far, it has become clear that in many areas only a handful of changes will be made, whereas in other places, more roads are likely to revert to 30mph.

Through the drumbeat of regional meetings we are putting in place with the support of Transport for Wales, and with the help of the County Surveyors' Society Wales, we want to co-create a framework that supports highway authorities to make the right decisions for local roads – particularly when those calls are finely balanced.

That framework will be published before summer recess. After the summer break, we will continue to support highway authorities in the implementation phase of assessing roads, making of traffic regulation orders and finally in the implementation of changes on the ground. We acknowledge that it may take several months from September onwards before we see any changes on the ground.

My officials will then focus on prioritising guidance for other speed limits where people live.

To enable us all to focus fully on speed limits, we are pausing work on the development of a new Road Safety Strategy and pavement parking.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Ken Skates', with a stylized flourish at the end.

Ken Skates AS/MS

Ysgrifennydd y Cabinet dros Ddrafnidiaeth a Gogledd Cymru
Cabinet Secretary for North Wales and Transport

From: Strategy <Strategy@beacons-npa.gov.uk>
Sent: 11 June 2024 17:56
Subject: The Town and Country Planning (Local Development Plan) (Wales) Regulations 2005 Regulation 26
Withdrawal of an LDP.

THIS IS A BILINGUAL MESSAGE THE ENGLISH FOLLOWS THE WELSH

MAE HWN YN NEGES DDWYIEITHOG MAE'R SAESENG YN DILYN Y GYMRAEG



**Bannau
Brycheiniog**

Date: 11 Mehefin / June 2024

Email: Strategy@beacons-npa.gov.uk

Telephone: 01874 620421

Annwyl Syr/Madam

Deddf Cynllunio a Phryniant Gorfodol 2004 Adran 66A Ymdawriad o'r cynllun datblygiad lleol o ganlyniad i ddiffyg cyfeiriad.

Rheoliadau Cynllunio Tref a Gwlad (Cynllun Datblygiad Lleol) (Cymru) 2005 Rheoliad 26 Tynnu CDLI yn ôl.

Rydym yn ysgrifennu atoch chi i hysbysu bod Awdurdod Parc Cenedlaethol Bannau Brycheiniog wedi ymneilltuo'r aildodiad cyntaf i ei Chynllun Datblygiad Lleol (2018-2033) ar y 7fed o Fehefin 2024.

Mae Awdurdod y Parc Cenedlaethol yn anelu i greu Cytundeb Danfoniad gyda'r Llywodraeth Cymraeg a fyddai'n creu aildodiad i'r Cynllun Datblygiad Lleol erbyn diwedd y blwyddyn ariannol (2024/2025).

Yr gywir,

Tim Strategaeth a Pholisi

Awdurdod Parc Cenedlaethol Bannau Brycheiniog

Dear Sir / Madam

Planning and Compulsory Purchase Act 2004 Section 66A Withdrawal of local development plan in the absence of direction.

The Town and Country Planning (Local Development Plan) (Wales) Regulations 2005 Regulation 26 Withdrawal of an LDP.

I write to notify you that on the 7th of June 2024, the Bannau Brycheiniog (Brecon Beacons) National Park Authority withdrew the First Replacement Brecon Beacons National Park Local Development Plan (2018 – 2033).

The National Park Authority aims to agree a Delivery Agreement with the Welsh Government for a replacement Local Development Plan by the end of this financial year (2024/2025).

Yours faithfully,

Strategy and Policy Team

Bannau Brycheiniog National Park Authority

Parc Cenedlaethol Bannau Brycheiniog

Plas y Ffynnon, Ffordd Cambrian, Aberhonddu,
Powys, LD3 7HP

Ffon: 01874 624 437

E-bost: enquiries@beacons-npa.gov.uk

Safle ar y we: www.bannau.cymru

Prif Weithredwr: Catherine Mealing-Jones

Mae'r Awdurdod yn croesowu gohebiaeth yn y
Gymraeg neu'r Saesneg

Bannau Brycheiniog National Park

Plas y Ffynnon, Cambrian Way, Brecon, Powys, LD3
7HP

Telephone: 01874 624 437

E-mail: enquiries@beacons-npa.gov.uk

Website: www.bannau.wales

Chief Executive: Catherine Mealing-Jones

The Authority welcomes correspondence in Welsh or
English



Bannau
Brycheiniog



Item 4a

Please quote : P/2024/0165

Direct line : 01495 355515

26 June 2024

Dear Sir/Madam

NANTYGLO & BLAINA

21 JUN 2024

TOWN COUNCIL

TOWN AND COUNTRY PLANNING ACT 1990

APPLICATION FOR PLANNING PERMISSION

Proposed single storey extension, home office/garden store.
11 Lakeside Avenue, Nantyglo, Brynmawr, Ebbw Vale, Blaenau Gwent, NP23 4EE
Grid Reference: 318625 211224

I enclose for your information, a copy of the application form and site location plan in respect of the above application,
Please return any comments with 21 days of the date of this letter.

Yours sincerely

Sophie Godfrey
Planning Officer
Email: sophie.godfrey@blaenau-gwent.gov.uk

Blaenau Gwent CBC Planning Control / Rhoeli Cynllunio CBS Blaenau Gwent

General Offices
 Steelworks Road
 Tyllwyn, Ebbw Vale, NP23 6AA.
 Tel: 01495 355555 Fax: 01495 355598
 Email: planning@blaenau-gwent.gov.uk

Swyddfeydd Cyffredinol
 Heol Gwaith Dur
 Tŷ Llwyn, Glyn Ebwy, NP23 6AA.
 Ffon: 01495 355555 Ffacs: 01495 355598
 E-bost: planning@blaenau-gwent.gov.uk



www.blaenau-gwent.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Details

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

11

Suffix

Property Name

Address Line 1

Lakeside Avenue

Address Line 2

Nantyglo

Town/city

Brynmawr

Postcode

NP23 4EE

Description of site location (must be completed if postcode is not known)

Easting (x)

318624

Northing (y)

211224

Description

Applicant Details

Name/Company

Title

Mr & Mrs

First name

C.

Surname

Cleese

Company Name

Address

Address line 1

11 Lakeside Avenue

Address line 2

Nantyglo

Address line 3

Blaenau Gwent

Town/City

Brynmawr

Country

Postcode

NP23 4EE

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

Contact Details

Primary number

Secondary number

Email address

Agent Details

Name/Company

Reference: PP-13184784

Title

Mr

First name

Justin

Surname

Samuel

Company Name

Justin Samuel Associates Limited

Address

Address line 1

8 Mount Pleasant Estate

Address line 2

Brynithel

Address line 3

Town/City

Abertillery

Country

United Kingdom

Postcode

NP13 2HN

Contact Details

Primary number

***** REDACTED *****

Secondary number

Email address

***** REDACTED *****

Description of Proposed Works

Please describe the proposed works

Proposed Single Storey Extension, Home Office/Garden Store.

Has the work already been started without planning permission?

- ☐ Yes
☒ No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle or pedestrian access proposed to or from the public highway?

- ☐ Yes
☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- ☐ Yes
☒ No

Please show details of any existing or proposed rights of way on or adjacent to the site, as well as any alterations to pedestrian and vehicle access, on your plans or drawings.

Trees and Hedges

Are there any trees or hedges on the site or adjoining the proposed site that would be affected by the development proposal?

- ☐ Yes
☒ No

If you have answered Yes, you may need to provide a survey before your application can be validated. Your local planning authority can advise on whether a survey is required, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'

Biodiversity and Geological Conservation

Does your proposal involve:

(i) demolition of a building?

- ☐ Yes
☒ No

(ii) alterations or enlargement to your roof?

- ☐ Yes
☒ No

(iii) the loss of any trees or hedgerows?

- ☐ Yes
☒ No

If you have answered Yes to any of the above questions, you may be required to submit a biodiversity survey to your local planning authority with your application form.

Your local planning authority will be able to advise you further, guidance is also available in the help text.

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- ☐ Yes
☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- ☒ The agent
☐ The applicant
☐ Other person

Pre-application Advice

Has pre-application advice been sought from the local planning authority about this application?

- ☐ Yes
☒ No

Authority Employee/Member

With respect to the Authority, is the applicant or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

Do any of these statements apply to you?

- ☐ Yes
☒ No

Ownership Certificates

Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Please answer the following questions to determine which Certificate of Ownership you need to complete: A,B,C or D.

Are you the sole owner of ALL the land?

- ☒ Yes
☐ No

Certificate of Ownership - Certificate A

I certify/the applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least seven years left to run) of any part of the land or building to which the application relates.

Person Role

- ☐ The Applicant
☒ The Agent

Title

Mr

First Name

Justin

Surname

Samuel

Declaration Date

25/06/2024

☒ Declaration made

Agricultural Holding Certificate

Town and Country Planning (Development Management Procedure) (Wales) Order 2012

Agricultural land declaration - you must select either A or B

- ☒ (A) None of the land to which the application relates is, or is part of an agricultural holding
- ☐ (B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below

Person Role

- ☐ The Applicant
- ☒ The Agent

Title

Mr

First Name

Justin

Surname

Samuel

Declaration Date

25/06/2024

☒ Declaration made

Declaration

I/We hereby apply for Householder planning permission as described in the questions answered, details provided, and the accompanying plans/drawings and additional information.

I/We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

I/We also accept that:

- Once submitted, this information will be made available to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website;
- Our system will automatically generate and send you emails in regard to the submission of this application.

☒ I / We agree to the outlined declaration

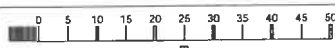
Reference: PP-13184784

Signed

Justin Samuel

Date

25/06/2024



OS MasterMap 1250/2500/10000 scale
 Saturday, June 8, 2024, ID: BW1-01169253
maps.blackwell.co.uk

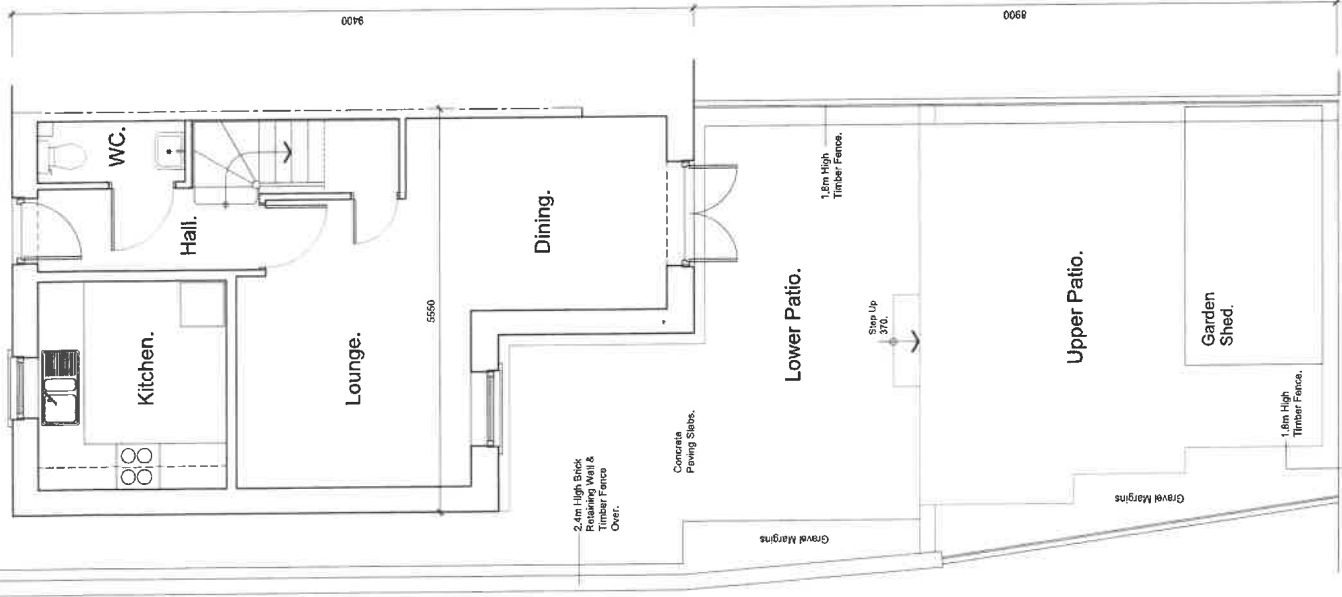
1:1250 scale print at A4, Centre: 318646 E, 211223 N

©Crown Copyright Ordnance Survey. Licence no.
 100041041

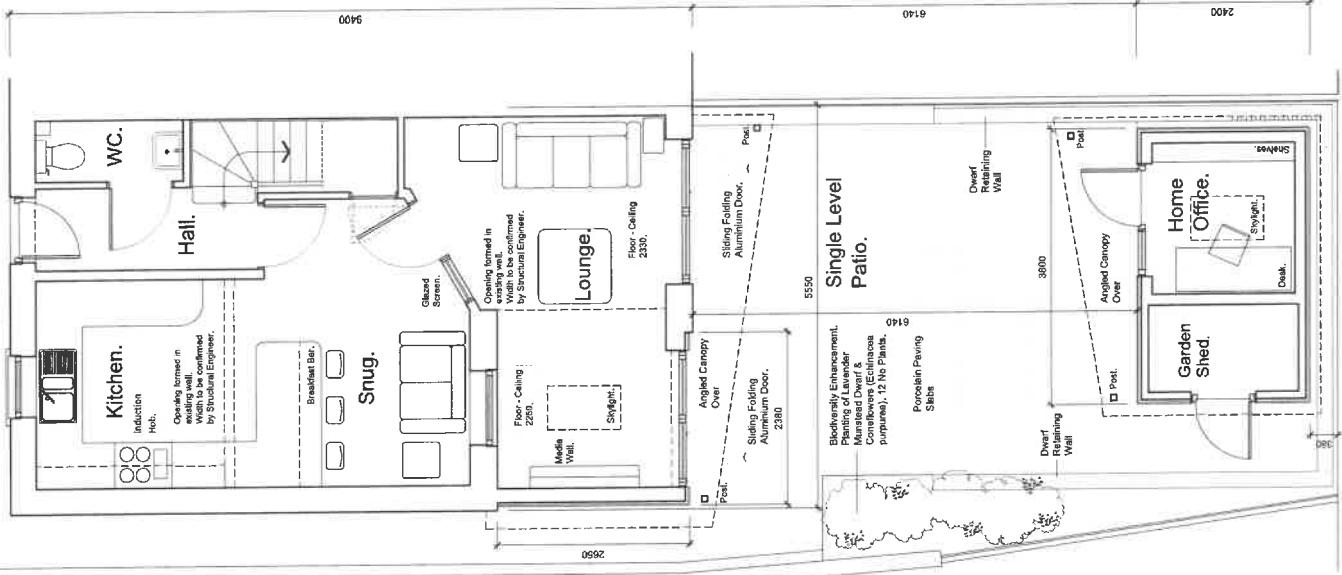


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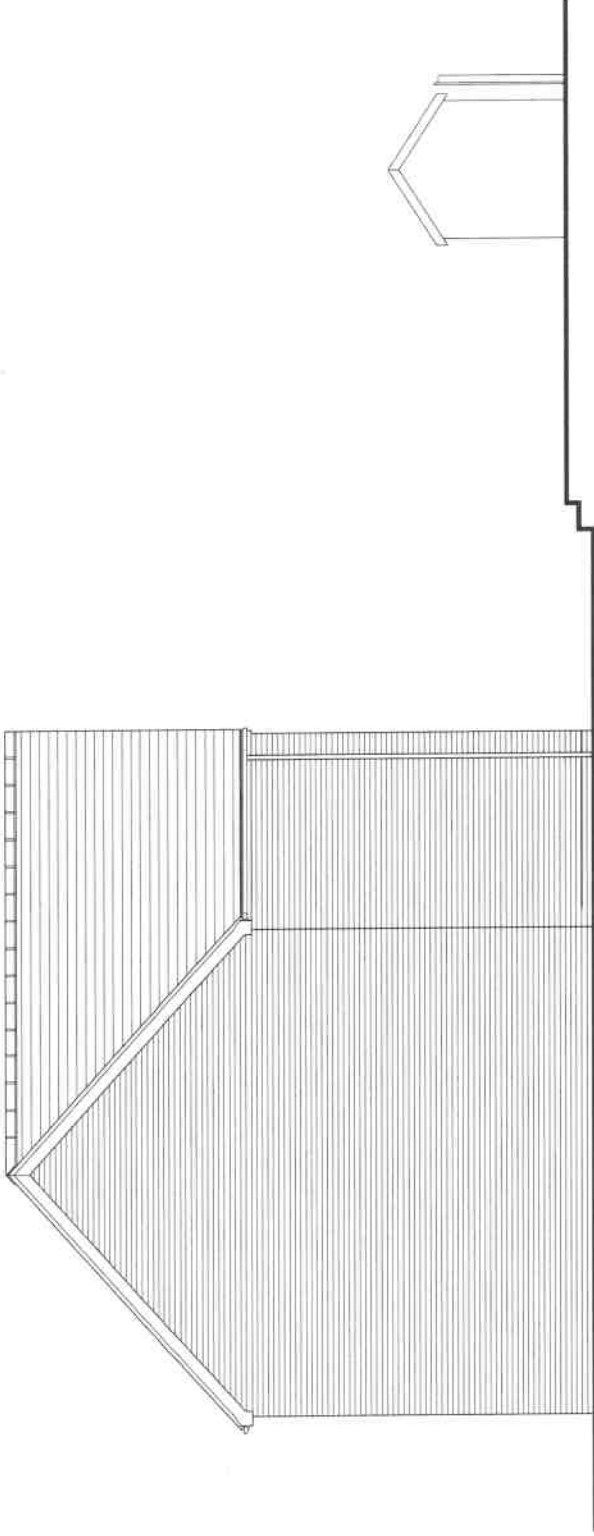
Existing Ground Floor Plan. (1:50)



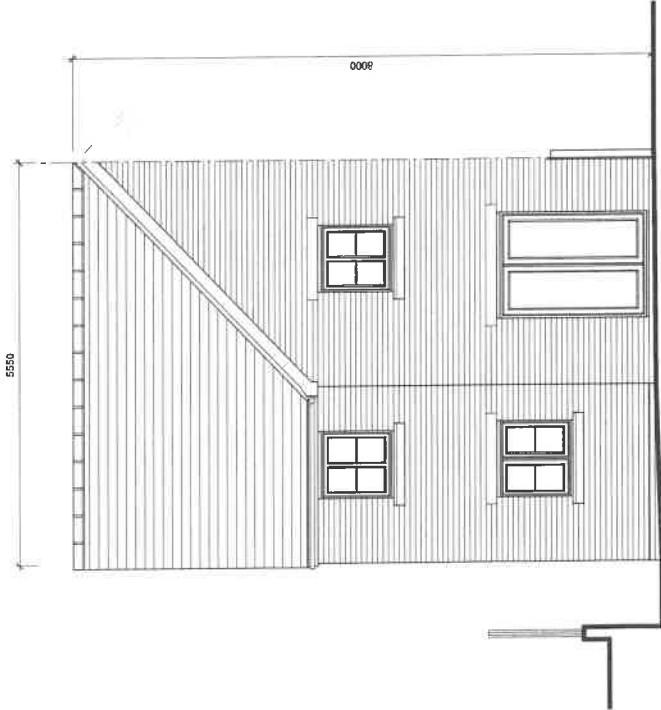
Proposed Ground Floor Plan. (1:50)

- NOTES
1. Do not scale from plan.
 2. Construction subject to Planning Permission & Building Regulations Approval.
 3. Welsh Water Maps to be checked for possible adopted sewers below or in vicinity of new structures.
 4. Coal Authority maps to be checked & foundations designed by an Engineer if required.

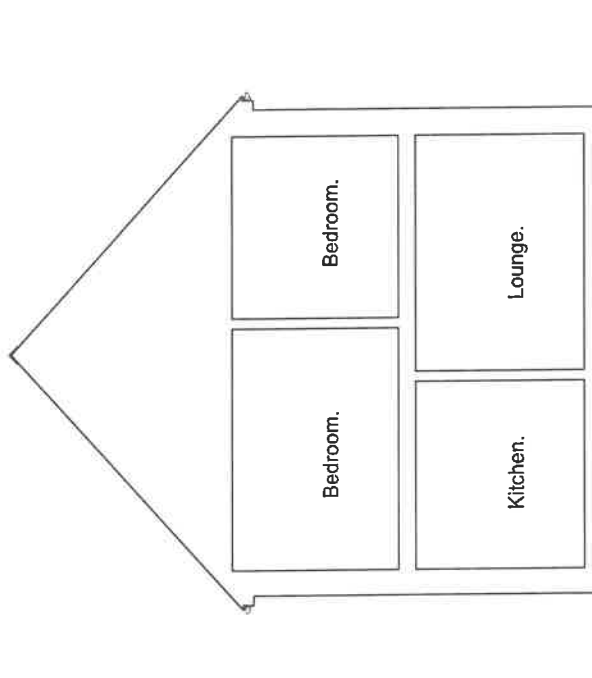
CLIENT	Mr & Mrs C. Clease.
SITE	Proposed Single Storey Extension & Home Office At No 11 Lakeside Avenue, Nantyglo, NP23 4EE
DRAWING	Existing & Proposed Ground Floor Plans.
Scale	1:50 @ A2 Sheet
Date	June 2024
Drawn By	JSS
Checked By	JSS
Dwg Status	Planning
DWG REF:	040/PL/01
Rev	.
JSS ASSOCIATES LTD 101 FLYNN ROAD NANTYGLO, NP23 4EE 012930 07000 info@jssassociates.co.uk	



Existing West Elevation. 1:50 Scale



Existing South Elevation. 1:50 Scale



Existing Section. 1:50 Scale

NOTES

1. Do not scale from plan.
2. Construction subject to Planning Permission & Building Regulations Approval.
3. Welsh Water Maps to be checked for possible adopted sewers below or in vicinity of new structures.
4. Coal Authority maps to be checked & foundations designed by an Engineer if required.

MATERIALS

Roof - Interlocking Concrete roof tiles with half matching ridge tiles.

Walls - Clay facing brickwork.

Doors - White pvc-U

Windows - White pvc-U

Rainwater - White pvc-U half round gutters and circular down pipes.

White pvc-U fascias, soffits and barge boards.

CLIENT	Mr & Mrs C. Clease.
SITE	Proposed Single Storey Extension & Home Office At No 11 Lakeside Avenue, Nantyglo, NP23 4EE
DRAWING	Existing Elevations & Section.
Scale	1:50 @ A2 Sheet
Date	June 2024
Drawn By	JSS
Checked By	JSS
Dwg Status	Planning
DWG REF.	040/PL/02
Rev	*

JSS & N
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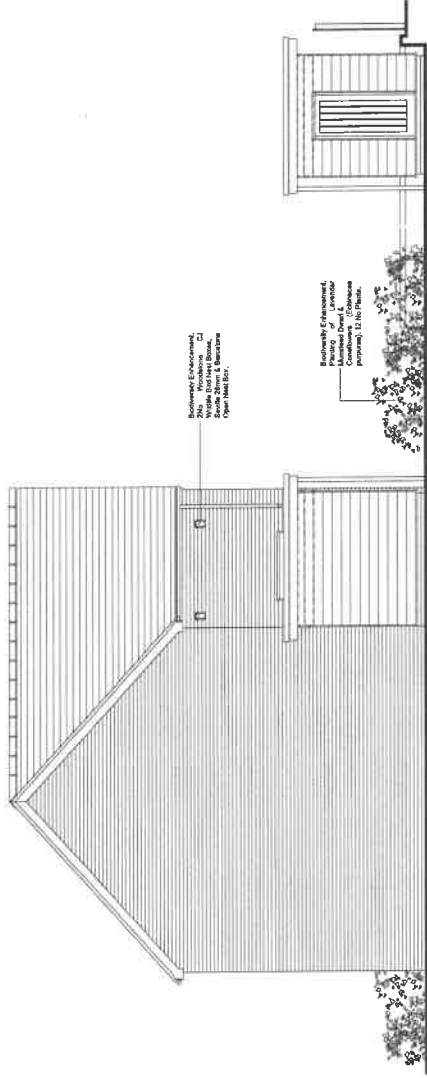
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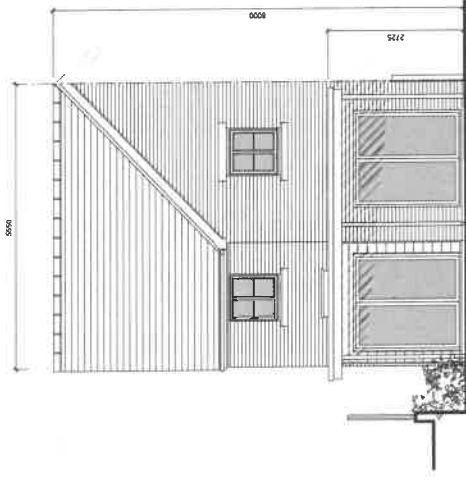
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MATERIALS

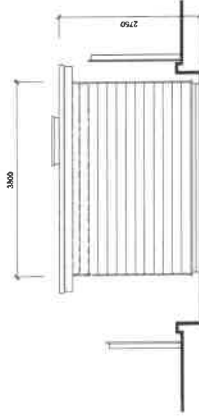
- Roof** - Interlocking Concrete roof tiles with half matching ridge tiles.
Grey single ply or black EPDM flat roof membrane.
- Walls** - Clay facing brickwork.
FENRAL 'Click Cladline' Cream/light Grey colour
- Construction subject to Planning Permission & Building Regulations Approval.
 - Wettest Winter flows to be checked for possible adopted sewers below at its vicinity of new structures.
 - Cost Authority must be checked for foundations designed by an Engineer if required.



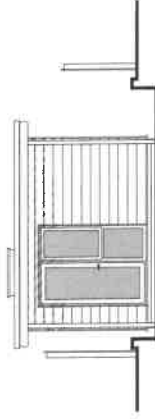
Proposed West Elevation. 1:50 Scale



Proposed South Elevation. 1:50 Scale



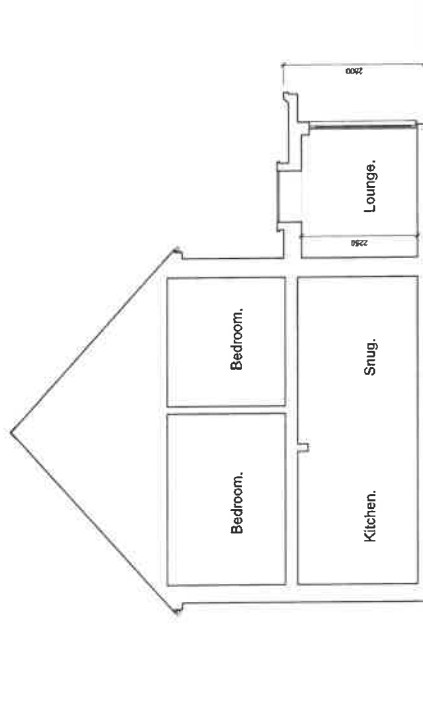
Proposed South Elevation.
Home Office



Proposed North Elevation.



Proposed East Elevation.



Proposed Section. 1:50 Scale

CUSTOMER Mr & Mrs C. Cleese.	
SITE	Proposed Single Storey Extension & Home Office At No 11 Lakeside Avenue, Nantyglo, NP23 4EE
DRAWING	Proposed Elevations,
Scale	1:50 @ A1 Sheet
Date	June 2024
Drawn By	MS
Checked By	155
Dwg Status	Pending
DWG REF:	040/PJ/03 Rev




Proposed Site Block Plan.

1. Do not scale from plan.
2. Construction subject to Planning Permission & Building Regulations Approval.
3. Welsh Water Maps to be checked for possible adopted sewers below or in vicinity of new structures.
4. Coal Authority maps to be checked & foundations designed by an Engineer if required.

Extension to Building Footprint 6.4m².
Home Office Building Footprint 9.1m².
New Paving & Garden Walls 38.2m².
Patios & Paving Removed -54.2m².

Total Development Area = 53.7m²
Gross Increase = Area (minus) -0.5m².
No requirement for SAB Approval.

CLIENT Mr & Mrs C. Clease.	 JSA Engineering Ltd 100, High Street, London, E1 1AA	DRAFT JAMES H. ASSOCIATES LIMITED 100, High Street, London, E1 1AA
SITE Proposed Single Storey Extension & Home Office At No 11 Lakeside Avenue, Nantyglo, NP23 4EE		Scale 1:100 @ A2 Sheet Date June 2024 Drawn By JSS Checked By JSS Dwg Status planning
DRAWING Existing & Proposed Site Block Plans.		Rev 040/PL/04 DWG REF: